



Board of Adjustment Staff Report

Meeting Date: April 16, 2020

Agenda Item: 8G

ADMINISTRATIVE CASE NUMBER: WADMIN20-0004 (Saint Francis of Assisi Catholic Church Expansion)

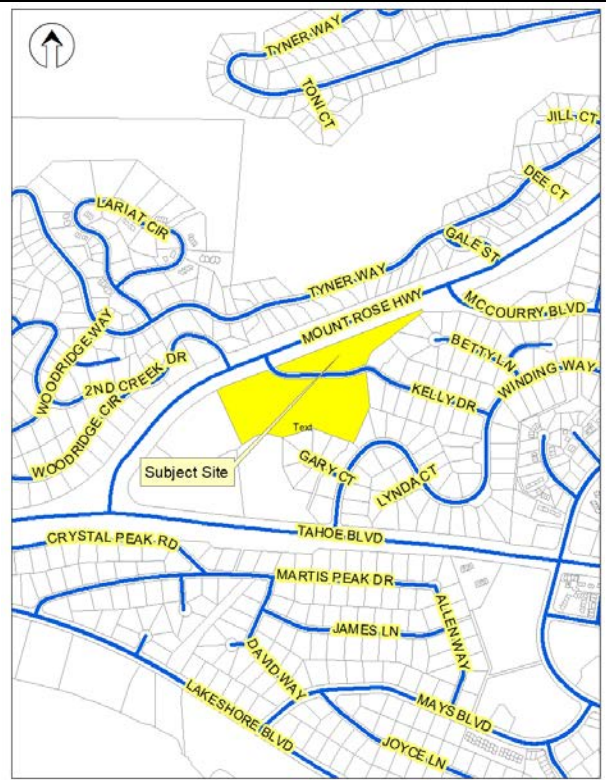
BRIEF SUMMARY OF REQUEST: Expansion of an existing church by ±1,952 square feet.

STAFF PLANNER: Roger Pelham, MPA Senior Planner \ 775.328.3622 rpelham@washoecounty.us

CASE DESCRIPTION

Administrative Permit Case Number WADMIN20-0004 (Saint Francis of Assisi Catholic Church Expansion) – For possible action, hearing, and discussion to approve an administrative permit to allow the expansion of an existing church building (Religious Assembly Use Type), by means of a two-story addition of approximately 976 square feet on each level for a total expansion of the building of approximately 1,952 square feet. The existing building is approximately 12,156 square feet in size.

Applicant: Saint Francis of Assisi Catholic Church
Location: 701 Mt. Rose Highway, on both north and south sides of its intersection with Kelly Drive, in the Incline Village area.
APN: 124-032-01 and 124-062-62
Parcel Size: ± 9.17 and ± 3.14 acres
Master Plan: Rural (R)
Regulatory Zone: Public and Semi-Public Facilities (PSP)
Area Plan: Tahoe
Citizen Advisory Board: Incline Village/Crystal Bay
Development Code: Authorized in Article 302
Commission District: 1 – Commissioner Berkgigler



Vicinity Map

STAFF RECOMMENDATION

APPROVE

APPROVE WITH CONDITIONS

DENY

POSSIBLE MOTION

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Board of Adjustment approve Administrative Permit Case Number WADMIN20-0004 for Saint Francis of Assisi Catholic Church, having made all five findings in accordance with Washoe County Development Code Section 110.808.25.

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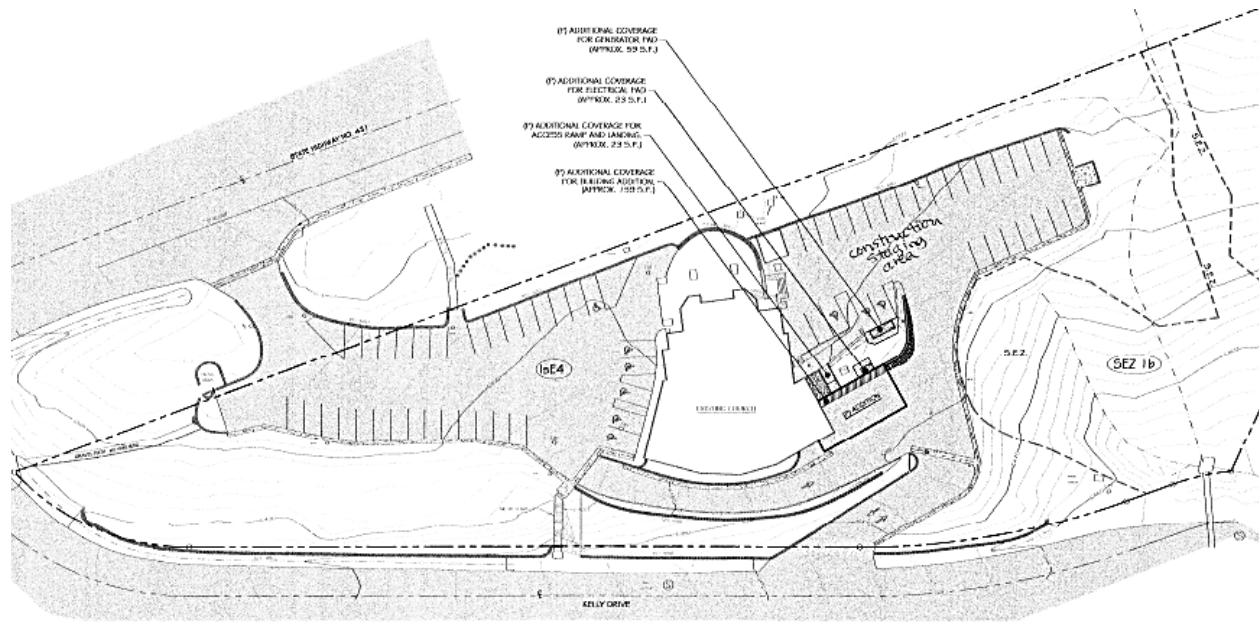
Project Application Exhibit D

Administrative Permit Definition

The purpose of an administrative permit is to provide a method of review for a proposed use which possess characteristics that requires a thorough appraisal in order to determine if the use has the potential to adversely affect other land uses, transportation or facilities in the vicinity. The Board of Adjustment or the Hearing Examiner may require conditions of approval necessary to eliminate, mitigate, or minimize to an acceptable level any potentially adverse effects of a use, or to specify the terms under which commencement and operation of the use must comply. Prior to approving an application for an administrative permit, the Board of Adjustment must find that all of the required findings, if applicable, are true.

The conditions of approval for Administrative Permit Case Number WADMIN20-0004 are attached to this staff report and will be included with the action order, if approval is granted.

The subject property has a regulatory zone of Public and Semi-Public Facilities. Churches (Religious Assembly Use Type) are permissible in the PSP zone, subject to the approval of an Administrative Permit. In this case, the existing church was established prior to the current code, but is proposing an expansion of greater than 10 % and is therefore subject to approval of an administrative permit for that expansion.

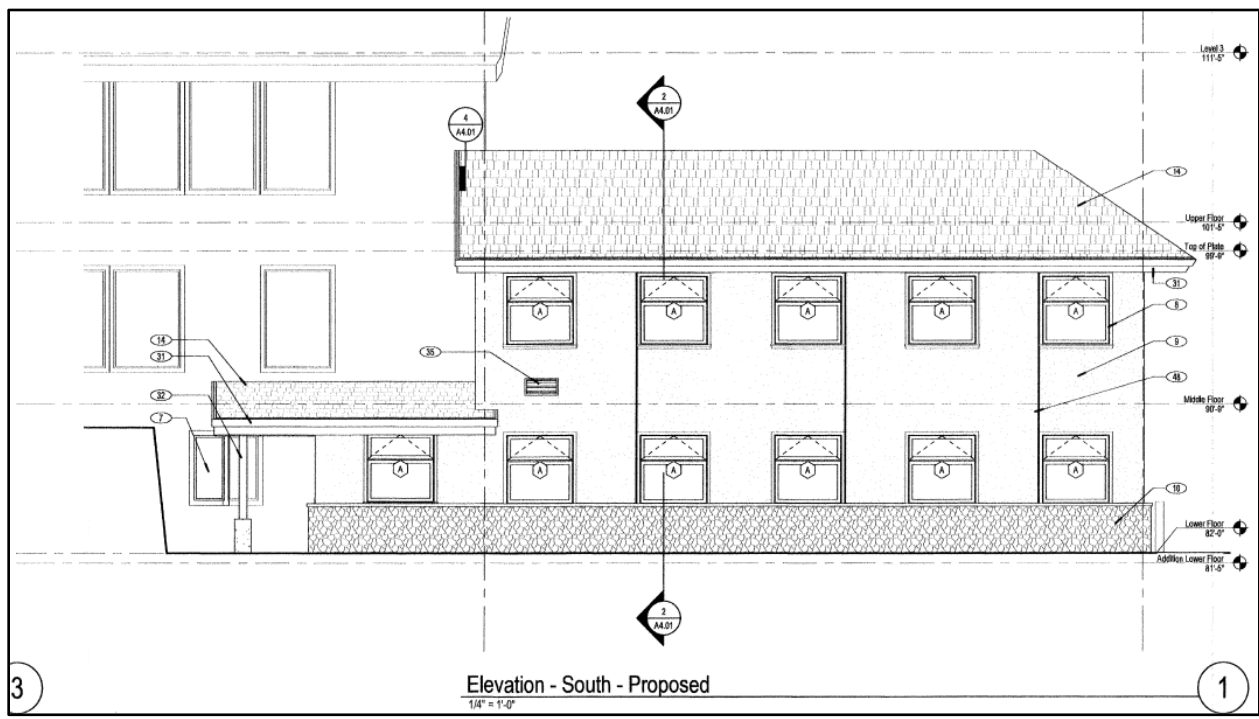


SITE PLAN OVERVIEW
 SCALE: 1" = 30'-0"

Site Plan

Project Evaluation

The applicant is seeking approval of a two-story addition to the existing church. The addition is proposed to be located at the southeast corner of the building, as shown following.





One neighboring property owner called staff and expressed concern regarding the intensity of exterior lighting at the church. To address this concern a condition of approval has been included in the recommendation to require the applicant to submit a photometric study and require that no light spills over beyond the property lines.

The applicant has also submitted a request to the Director of Planning and Building to eliminate the requirement to place trees within landscape islands in the parking area, as would typically be required. The Director will not act upon that request until after the BOA has acted upon this administrative permit request. Staff would ask that the BOA provide guidance on this request. Generally speaking the facility is substantially screened from adjoining areas by dense evergreen tree coverage.

With few impacts anticipated, staff recommends approval subject to standard conditions of approval.

Incline Village/Crystal Bay Citizen Advisory Board (IV/CB CAB)

This administrative permit was heard by the Incline Village/Crystal Bay Citizen Advisory Board at their regular meeting of March 2, 2020. The project was recommended for approval with very little discussion. It was noted that sufficient parking will remain after several parking spaces are removed to accommodate the proposed expansion.

Reviewing Agencies

The following agencies received a copy of the project application for review and evaluation.

- Washoe County Community Services Department
 - Engineering and Capital Projects Division
 - Parks and Open Spaces
 - Planning and Building Division
 - Utilities/Water Rights
- Washoe County Health District
 - Vector-Borne Diseases Program
 - Environmental Health Services Division
 - Air Quality Management Division
- Washoe County Regional Animal Services
- Washoe County Sheriff
- Regional Transportation Commission
- Washoe-Storey Conservation District
- Incline Village General Improvement District
- Nevada State Lands
- North Lake Tahoe Fire Protection
- Tahoe Regional Planning Agency
- Tahoe Transportation District
- US Forest Service - LTMBU

Three out of the seventeen above listed agencies/departments provided comments and/or recommended conditions of approval in response to their evaluation of the project application. A **summary** of each agency's comments and/or recommended conditions of approval and their contact information is provided. The conditions of approval document is attached to this staff report and will be included with the Action Order, if approved.

- Washoe County Planning and Building Division addressed general standards such as lighting and landscaping and recommends conditions that will be in effect for the life of the project.
Contact – Roger Pelham, 775.328.3622, rpelham@washoecounty.us
- Washoe County Engineering noted that Regional Road Impact fees will be imposed at the time of approval of a building permit for this project.
Contact – Leo Vesely, 775.328.2041, lvesely@washoecounty.us
- Washoe County Water Rights Planner - Coordinator requires that a will-serve letter will be required from the water purveyor.
Contact – Vahid Behmaram, 775.954.4647, vbehmaram@washoecounty.us

Staff Comment on Required Findings

WCC 110.808.25 requires that all the following findings be made to the satisfaction of the Washoe County Board of Adjustment before granting approval of the administrative permit request. Staff has completed an analysis of the application and has determined that the proposal is in compliance with the required findings as follows.

1. Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Tahoe Area Plan.

Staff Comment: There are no action programs, policies, standards and maps of the *Master Plan and the Tahoe Area Plan, that prohibit the expansion of a church.*

2. Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven.

Staff Comment: The project proposed is a relatively small expansion to an existing church, therefore adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven.

3. Site Suitability. That the site is physically suitable for expansion of an existing church, and for the intensity of such a development.

Staff Comment: The project proposed is a relatively small expansion to an existing church, therefore the site is physically suitable.

4. Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.

Staff Comment: The project proposed is a relatively small expansion to an existing church, therefore issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.

5. Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Staff Comment: There is no military installation within the area required to be noticed for this permit.

Recommendation

After a thorough analysis and review, Administrative Permit Case Number WADMIN20-0004 is being recommended for approval with conditions. Staff offers the following motion for the Board's consideration.

Motion

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Board of Adjustment approve Administrative Permit Case Number WADMIN20-0004 for Saint Francis of Assisi Catholic Church, having made all five findings in accordance with Washoe County Development Code Section 110.808.25:

1. Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Tahoe Area Plan;
2. Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;

3. Site Suitability. That the site is physically suitable for expansion of an existing church, and for the intensity of such a development;
4. Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area;
5. Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Appeal Process

Board of Adjustment action will be effective 10 calendar days after the written decision is filed with the Secretary to the Board of Adjustment and mailed to the original applicant, unless the action is appealed to the Washoe County Board of County Commissioners, in which case the outcome of the appeal shall be determined by the Washoe County Board of County Commissioners. Any appeal must be filed in writing with the Planning and Building Division within 10 calendar days from the date the written decision is filed with the Secretary to the Board of Adjustment and mailed to the original applicant.

Applicant/Property Owner: Saint Francis of Assisi Catholic Church
Attn: John Keehan
290 S. Arlington Avenue, Suite 200
Reno, NV 89501

Representatives: Kristina Hill
PO Box 6139
Incline Village, NV 89450

Representatives: Collaborative Design Studio
Attn: Kevin Merkling
9444 Double R Boulevard
Reno, NV 89521



Conditions of Approval

Administrative Permit Case Number WADMIN20-0004

The project approved under Administrative Permit Case Number WADMIN20-0004 shall be carried out in accordance with the conditions of approval granted by the Board of Adjustment on April 16, 2020. Conditions of approval are requirements placed on a permit or development by each reviewing agency. These conditions of approval may require submittal of documents, applications, fees, inspections, amendments to plans, and more. These conditions do not relieve the applicant of the obligation to obtain any other approvals and licenses from relevant authorities required under any other act or to abide by all other generally applicable codes, and neither these conditions nor the approval by the County of this project/use override or negate any other applicable restrictions on uses or development on the property.

Unless otherwise specified, all conditions related to the approval of this administrative permit shall be met or financial assurance must be provided to satisfy the conditions of approval prior to issuance of a grading or building permit. The agency responsible for determining compliance with a specific condition shall determine whether the condition must be fully completed or whether the applicant shall be offered the option of providing financial assurance. All agreements, easements, or other documentation required by these conditions shall have a copy filed with the County Engineer and the Planning and Building Division.

Compliance with the conditions of approval related to this administrative permit is the responsibility of the applicant, his/her successor in interest, and all owners, assignees, and occupants of the property and their successors in interest. Failure to comply with any of the conditions imposed in the approval of the administrative permit may result in the initiation of revocation procedures.

Operational conditions are subject to review by the Planning and Building Division prior to the renewal of a business license each year. Failure to adhere to the operational conditions may result in the Planning and Building Division recommending that the business license not be renewed until conditions are complied with to the satisfaction of Washoe County.

Washoe County reserves the right to review and revise the conditions of approval related to this Administrative Permit should it be determined that a subsequent license or permit issued by Washoe County violates the intent of this approval.

For the purpose of conditions imposed by Washoe County, “may” is permissive and “shall” or “must” is mandatory.

Conditions of approval are usually complied with at different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e., grading permits, building permits, etc.).
- Prior to obtaining a final inspection and/or a certificate of occupancy.
- Prior to the issuance of a business license or other permits/licenses.
- Some “conditions of approval” are referred to as “operational conditions.” These conditions must be continually complied with for the life of the project or business.

The Washoe County Commission oversees many of the reviewing agencies/departments with the exception of the following agencies:

- **The DISTRICT BOARD OF HEALTH, through the Washoe County Health District, has jurisdiction over all public health matters in the Health District. Any conditions set by the Health District must be appealed to the District Board of Health.**
- **The RENO-TAHOE AIRPORT AUTHORITY is directed and governed by its own Board. Therefore, any conditions set by the Reno-Tahoe Airport Authority must be appealed to their Board of Trustees.**
- **The REGIONAL TRANSPORTATION COMMISSION (RTC) is directed and governed by its own Board. Conditions recommended by the RTC may be required, at the discretion of Washoe County.**

FOLLOWING ARE CONDITIONS OF APPROVAL REQUIRED BY THE REVIEWING AGENCIES. EACH CONDITION MUST BE MET TO THE SATISFACTION OF THE ISSUING AGENCY.

Washoe County Planning and Building Division

1. The following conditions are requirements of the Planning and Building Division, which shall be responsible for determining compliance with these conditions.

Contact: Roger Pelham, Senior Planner, 775.328.3622, rpelham@washoecounty.us

- a. The applicant shall attach a copy of the action order approving this project to all permits and applications (including building permits) applied for as part of this administrative permit.
- b. The applicant shall demonstrate substantial conformance to the plans approved as part of this administrative permit. Planning and Building shall determine compliance with this condition.
- c. The applicant shall submit construction plans, with all information necessary for comprehensive review by Washoe County, and initial building permits shall be issued within two years from the date of approval by Washoe County. The applicant shall complete construction within the time specified by the building permits. Compliance with this condition shall be determined by the Planning and Building Division.
- d. A note shall be placed on all construction drawings and grading plans stating:

NOTE

Should any cairn or grave of a Native American be discovered during site development, work shall temporarily be halted at the specific site and the Sheriff's Office as well as the State Historic Preservation Office of the Department of Conservation and Natural Resources shall be immediately notified per NRS 383.170.

- e. Prior to any ground disturbing activity, the applicant shall submit a landscaping design plan to the Planning and Building Division for review and approval. Said plan shall address parking, parking lot circulation and striping, signage, exterior lighting, trash enclosures, landscaping and plant material, type and size of plants, maturation size at full growth, landscaping location, and landscaping irrigation system.
- f. All landscaping, irrigation and screening shall be completely installed and shall satisfy the requirements as set forth in the Washoe County Development Code prior to issuance of a Certificate of Occupancy.

- g. The applicant shall provide a photometric plan for the entire subject site. The plan shall include all exterior lighting fixtures on the entire site. Manufacturers cut-sheets shall be provided for each type of exterior lighting fixtures. The plan shall be wet-stamped by a professional engineer, licensed in the State of Nevada.
- h. Light spill-over at any property line is prohibited.
- i. All exterior lights shall emit light earthward only. No light may be emitted horizontally.
- j. Applicant shall provide a will serve letter in support of the proposed project, or an acknowledgment letter from IVGID, the water supplier, indicating that sufficient water rights are available to the proposed project.
- k. The following **Operational Conditions** shall be required for the life of the business:
 - i. This administrative permit shall remain in effect until or unless it is revoked or is inactive for one year.
 - ii. Failure to comply with any of the conditions of approval shall render this approval null and void.
 - iii. All landscaping and irrigation systems shall be maintained at all times to conform with the Landscaping Section of the Washoe County Development Code for the life of the business, including the replacement of dead plants, trees, shrubs and all ground cover.
 - iv. The applicant and any successors shall direct any potential purchaser/operator of the site and/or the administrative permit to meet with Planning and Building to review conditions of approval prior to the final sale of the site and/or the administrative permit. Any subsequent purchaser/operator of the site and/or the administrative permit shall notify Planning and Building of the name, address, telephone number, and contact person of the new purchaser/operator within 30 days of the final sale.
 - v. This administrative permit shall remain in effect as long as the business is in operation and maintains a valid business license.

Washoe County Engineering and Capital Projects

- 2. The following conditions are requirements of the Engineering Division, which shall be responsible for determining compliance with these conditions.

Contact: Leo Vesely, 775.328.2313, ivesely@washoecounty.us

- a. Regional Road Impact Fees will be assessed for the project with the issuance of a building permit.

*** End of Conditions ***

From: [Gil, Donald](#)
To: [Pelham, Roger](#)
Subject: FW: February Agency Review Memo
Date: Monday, February 24, 2020 4:41:26 PM
Attachments: [February Agency Review Memo.pdf](#)
[image001.png](#)
Importance: High

Roger,

I have reviewed items #3,#4, and #6 and the Washoe County Sheriff's Office Patrol Division has no issues with those projects.

Thank you,

Don

Don Gil

Captain – Patrol Division

911 Parr Blvd. Reno, NV 89512

Desk: 775-328-3354

Email: dgil@washoecounty.us

Web: www.WashoeSheriff.com

From: [Wines-Jennings, Tammy L](#)
To: [Pelham, Roger](#)
Cc: [Schull, Shyanne](#)
Subject: Agency Review Memo WADMIN20-0004
Date: Monday, February 24, 2020 3:29:46 PM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)

Hello,

We do not see any concerns from a WCRAS perspective.

Thank you,

Tammy



Tammy Wines-Jennings

Assistant Director | Washoe County Regional Animal Services

twines-jennings@washoecounty.us | Office: 775-353-8945 | Dispatch 775-322-3647

2825 Longley Lane, Suite A, Reno, Nv 89502



From: [Holly, Dan](#)
To: [Pelham, Roger](#)
Subject: Administrative Permit Case Number WADMIN20-0004 (Saint Francis of Assisi Catholic Church Expansion)
Date: Thursday, February 27, 2020 11:00:39 AM

Good Morning Roger: This project has already been submitted under permit WBLD20-100329. I have reviewed the plans and provided the applicant with corrections. I have no additional concerns at this time. Thank You,

From: [Jennifer Donohue](#)
To: [Pelham, Roger](#)
Subject: WADMIN20-0004 Saint Francis of Assisi
Date: Wednesday, February 26, 2020 11:42:05 AM

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Greetings, Senior Planner Pelham.
NLTFPD has no comment on the above identified case review.

Regards,



Jennifer Donohue
Interim Fire Marshal
Office: [775.831.0351](tel:775.831.0351) x8127 | Cell: [775.434.4555](tel:775.434.4555)
Email: jdonohue@nltfpd.net
[866 Oriole Way](#) | [Incline Village](#) | [NV 89451](#)





WASHOE COUNTY
COMMUNITY SERVICES DEPARTMENT
Engineering and Capital Projects

1001 EAST 9TH STREET
PO BOX 11130
RENO, NEVADA 89520-0027
PHONE (775) 328-3600
FAX (775) 328.3699

Date: March 2, 2020

To: Roger Pelham, Senior Planner, Planning and Building Division

From: Leo Vesely, P.E., Engineering and Capitol Projects Division

Re: Administrative Permit Case **WADMIN20-0004 – Saint Francis of Assisi Catholic Church Expansion**
APN 124-032-01 and 124-062-62

GENERAL PROJECT DISCUSSION

Washoe County Engineering and Capital Project staff has reviewed the above referenced application. The Administrative Permit is to approve the expansion of an existing church building, by means of a two-story addition of approximately 976 square feet on each level for a total expansion of the building of approximately 1,952 square feet. The Engineering and Capital Projects Division recommends approval with the following comments and conditions of approval which supplement applicable County Code and are based upon our review of the application prepared by Collaborative Design Studio. The County Engineer shall determine compliance with all the following conditions of approval.

For questions related to sections below, please see the contact name provided.

GENERAL CONDITIONS

Contact Information: Leo Vesely, P.E. (775) 328-2041

There are no general engineering related comments.

DRAINAGE (COUNTY CODE 110.416, 110.420, and 110.421)

Contact Information: Walter West, P.E. (775) 328-2310

There are no Drainage related comments.

TRAFFIC AND ROADWAY (COUNTY CODE 110.436)

Contact Information: Mitchell Fink (775) 328-2050

Regional Road Impact Fees will be assessed for the project with the issuance of a building permit.

UTILITIES (County Code 422 & Sewer Ordinance)

Contact Information: Tim Simpson, P.E. (775) 954-4648



INTEGRITY



EFFECTIVE COMMUNICATION



QUALITY PUBLIC SERVICE

WWW.WASHOECOUNTY.NV.US

Subject: Saint Francis of Assisi Catholic Church Expansion– WADMIN20-0004

Date: March 2, 2020

Page: 2

There are no utility related conditions of approval.

From: [Kuentz, Karen -FS](#)
To: [Pelham, Roger](#)
Subject: FW: February Agency Review Memo
Date: Monday, February 24, 2020 4:06:09 PM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
[February Agency Review Memo.pdf](#)

[**NOTICE:** This message originated outside of Washoe County -- **DO NOT CLICK** on links or open **attachments** unless you are sure the content is safe.]

Hi Roger – the Forest Service has no objection to the item #3 project.

Thanks – Karen Kuentz



Karen Kuentz
Realty Specialist
Forest Service
Lake Tahoe Basin Management Unit

p: 530-543-2774
f: 530-543-2693
karen.kuentz@usda.gov

35 College Drive
South Lake Tahoe, CA 96150

www.fs.fed.us



Caring for the land and serving people

Date	2-25-2020
Attention	Roger D Pelham
Re	Administrative Permit Case Number WADMIN20-0004
APN	127-032-01 and 124-062-62
Service Address	701 Mt Rose Highway
Owner	Saint Francis Of Assisi Church

<p><u>Administrative Permit Case Number WADMIN20-0004 (Saint Francis of Assisi Catholic Church Expansion)</u> – For possible action, hearing, and discussion to approve an administrative permit to allow the expansion of an existing church building (Religious Assembly Use Type), by means of a two-story addition of approximately 976 square feet on each level for a total expansion of the building of approximately 1,952 square feet. The existing building is approximately 12,156 square feet in size.</p>	
<ul style="list-style-type: none"> • Applicant/Property Owner: 	<p>Saint Francis of Assisi Catholic Church Attn: John Keehan 290 S. Arlington Avenue, Suite 200 Reno, NV 89501</p>
<ul style="list-style-type: none"> • Location: 	<p>701 Mt. Rose Highway, on both the north and south sides of its intersection with Kelly Drive, in the Incline Village area</p>
<ul style="list-style-type: none"> • Assessor's Parcel Numbers: 	<p>124-032-01 and 124-062-62</p>
<ul style="list-style-type: none"> • Parcel Size: 	<p>± 9.17 and ± 3.14 acres</p>
<ul style="list-style-type: none"> • Master Plan Category: 	<p>Rural (R)</p>
<ul style="list-style-type: none"> • Regulatory Zone: 	<p>Public and Semi-Public Facilities (PSP)</p>
<ul style="list-style-type: none"> • Area Plan: 	<p>Tahoe</p>
<ul style="list-style-type: none"> • Citizen Advisory Board: 	<p>Incline Village/Crystal Bay</p>
<ul style="list-style-type: none"> • Development Code: 	<p>Authorized in Article 302</p>
<ul style="list-style-type: none"> • Commission District: 	<p>1 – Commissioner Berkbigler</p>
<ul style="list-style-type: none"> • Staff: 	<p>Roger Pelham, Senior Planner Washoe County Community Services Department Planning and Building Division</p>
<ul style="list-style-type: none"> • Phone: 	<p>775-328-3622</p>
<ul style="list-style-type: none"> • E-mail: 	<p>rpelham@washoecounty.us</p>

IVGID Comments: This project has no Impact to the Incline Village General Improvement District water or sewer system owner of such project must obtain a Washoe County Building permit before any work begins.

From: [Kirschenman, Sophia](#)
To: [Pelham, Roger](#)
Subject: Parks Comments Re: WADMIN20-0004
Date: Friday, February 28, 2020 2:19:21 PM
Attachments: Outlook-li4v5nim.png
Outlook-1mnves5w.png
Outlook-42sn4m5h.png
Outlook-raksiuvt.png
Outlook-0bifted3.png

Hi Roger,

I've reviewed WADMIN20-0004 (Saint Francis of Assisi Catholic Church Expansion) on behalf of Washoe County Regional Parks and Open Space and have no conditions to include. While the draft Tahoe Area Plan does show a proposed bike lane along Mt. Rose Highway adjacent to the project location, there is ample right-of-way for the construction of the bike lanes. That being said, no recreation-related easements are required at this time. Please let me know if you have any questions or concerns.

All the best,



Sophia Kirschenman
Park Planner | Community Services Department
775.328.3623 | 1001 E. 9th Street, Reno, NV 89512



Please consider the environment before printing this e-mail.



WASHOE COUNTY
COMMUNITY SERVICES
INTEGRITY COMMUNICATION SERVICE

P.O. Box 11130
Reno, Nevada 89520-0027
Phone: (775) 328-3600
Fax: (775) 328-3699

February 26, 2020

TO: Roger D. Pelham, MPA, Senior Planner, CSD, Planning & Development Division
FROM: Vahid Behmaram, Water Management Planner Coordinator, CSD
SUBJECT: Administrative Permit Case Number WADMIN20-0004 (Saint Francis of Assisi Catholic Church Expansion)

Project description:

The applicant is proposing to approve an administrative permit to allow the expansion of an existing church building (Religious Assembly Use Type), by means of a two-story addition of approximately 976 square feet on each level for a total expansion of the building of approximately 1,952 square feet. The existing building is approximately 12,156 square feet in size. Project located at 701 Mt. Rose Highway, on both the north and south sides of its intersection with Kelly Drive, in the Incline Village area, Assessor's Parcel Numbers: 124-032-01 and 124-062-62.

The Community Services Department (CSD) recommends approval of this project with the following Water Rights conditions:

Applicant shall provide a will serve letter in support of the proposed project, or an acknowledgment letter from IVGID, the water supplier, indicating that sufficient water rights are available to the proposed project.



Washoe-Storey Conservation District

Bret Tyler Chairmen
Jim Shaffer Treasurer
Cathy Canfield Storey app
Jean Herman Washoe app

1365 Corporate Blvd.
Reno NV 89502
775 857-8500 ext. 131
nevadaconservation.com

March 2, 2020

Washoe County Community Services Department

C/O Roger Pelham, Senior Planner

1001 E Ninth Street, Bldg A

Reno, NV 89512

R: WADMIN20-0004 (Saint Francis of Assisi Catholic Church)

Dear Roger,

To prevent the spread of noxious weeds the applicant shall collaborate with the Conservation District to develop an onsite noxious weeds management plan to ensure weed seeds do not impact other areas, utilizing certified weed free material.

Revegetation plans will follow the TRPA handbook. The Conservation District will support the vegetation species and in addition require a three year monitoring program with updates provided to TRPA, the Conservation District and Washoe County after the growing season (October 31) every year for a three year period.

We will require placing smaller rock in the voids of the rip rap slope to reduce any undermining by small animals.

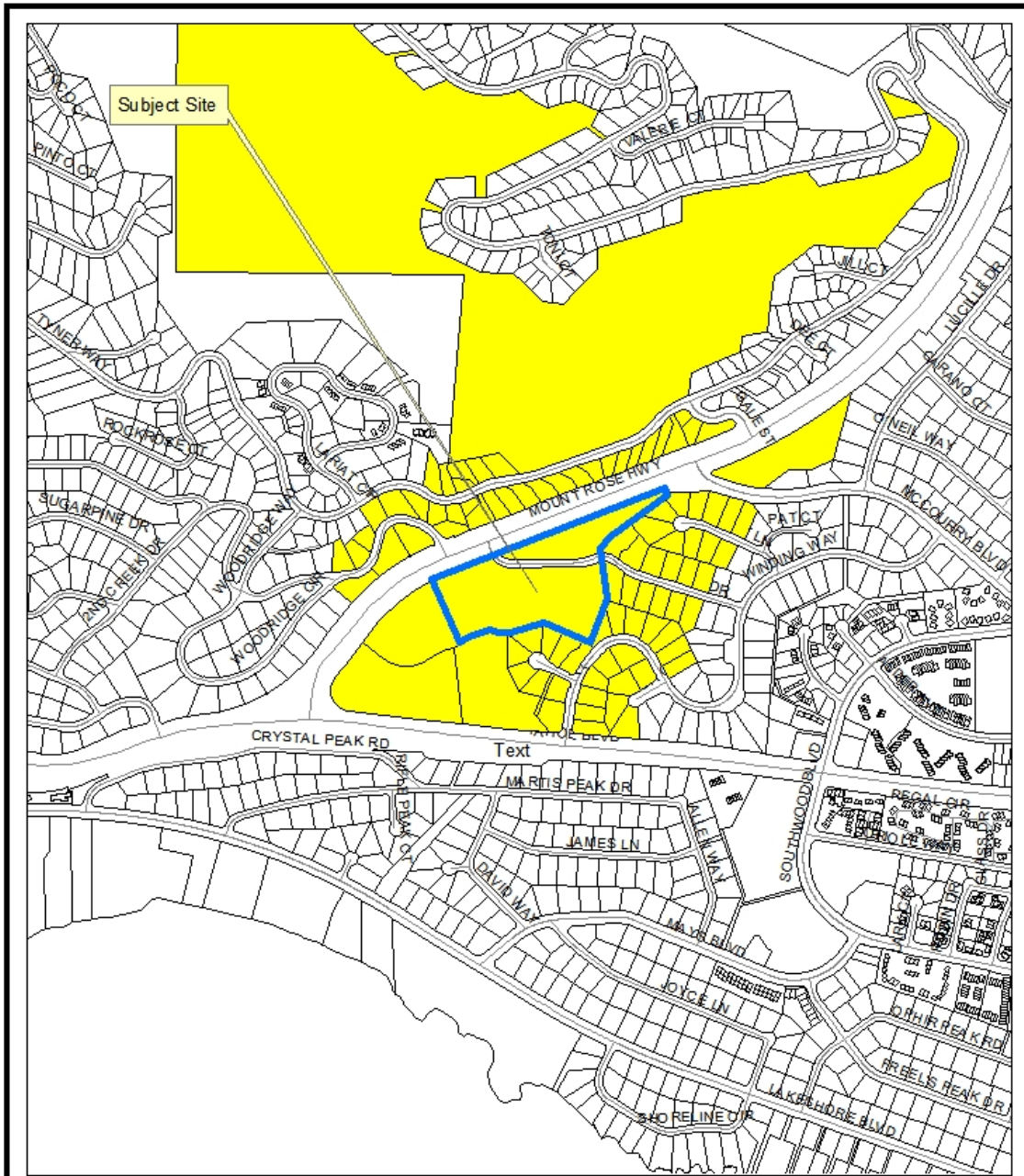
If any catch basins are being proposed, they are sumpless with BMP's proposed by the applicant having the capacity for infiltration.

With additional lighting being proposed the applicant follows Washoe County code as it relates to dark sky illumination.

Thank you for providing us the opportunity to review the project that may have impacts on our natural resources.

Sincerely,

Tyler-Shaffer



WADMIN20-0004
 93 parcels selected at 500 feet

Mailing and Vicinity Map



Community Services
 Department

WASHOE COUNTY
 NEVADA

1001 E. Ninth St.
 Reno, Nevada 89512 (775) 328-3800

Source: Planning and Building Division

Path: P:\ArcGIS\Templates\FacMap\Map_vicinity_mailing_map_2019.mxd

Date: 2/20/2020

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: St. Francis of Assisi Catholic Church			
Project Description: The applicant is proposing an addition to the existing church; approximately 976 s.f. footprint. The proposed expansion will not result in an intensification of the existing use but will facilitate classrooms and offices that are part of the church's current operation.			
Project Address: 701 Mt. Rose Hwy			
Project Area (acres or square feet): 536,232 s.f. / 12.31 acres			
Project Location (with point of reference to major cross streets AND area locator): The site is located in Incline Village on Hwy 431			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
124-032-01	9.17		
124-062-62	3.14		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: St. Francis of Assisi Church		Name: Collaborative Design Studio	
Address: 290 S. Arlington Ave., Ste 200		Address: 9444 Double R Blvd., Suite B	
Reno, NV	Zip: 89501	Reno, NV	Zip: 89521
Phone: 832.492-5197	Fax:	Phone: 775.348-777	Fax:
Email: johnk@sftahoe.org		Email: kevinm@collaborativedesignstudio.com	
Cell:	Other:	Cell:	Other:
Contact Person: John Keehan		Contact Person: Kevin Merkling	
Applicant/Developer:		Other Persons to be Contacted:	
Name:		Name: Kristina Hill, Hill Planning Inc	
Address:		Address: P.O. Box 6139	
	Zip:	Incline Village, NV	Zip: 89450
Phone:	Fax:	Phone: 775.544-4345	Fax:
Email:		Email: tahoehills@att.net	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person: Kristina Hill	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Property Owner Affidavit

Applicant Name: ST. FRANCIS OF ASSISI CATHOLIC PARISH CORPORATION

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
COUNTY OF WASHOE)

I, JOHN KEETAN (please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 124-032-01 & 124-031-62

Printed Name JOHN KEETAN
Signed [Signature]
Address 701 MT. ROSE HWY
FV, NV. 89451

Subscribed and sworn to before me this 12 day of February, 2020

[Signature]
Notary Public in and for said county and state

My commission expires: Aug. 8, 2020



*Owner refers to the following: (Please mark appropriate box.)

- Owner
[X] Corporate Officer/Partner (Provide copy of record document indicating authority to sign.) SECRETARY
Owner Agent (Provide copy of Power of Attorney.)
Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
Property Agent (Provide copy of record document indicating authority to sign.)
Letter from Government Agency with Stewardship

**ST. FRANCIS OF ASSISI CATHOLIC PARISH CORPORATION
(SFA CPC)
BOARD OF DIRECTORS MEETING**

September 26, 2017
Reno Diocese Pastoral Center
290 S. Arlington Ave., Reno, NV

The undersigned, being all of the directors of St. Francis of Assisi Catholic Parish Corporation, held its annual meeting on September 26, 2017 at the Reno Diocese Pastoral Center, located at 290 S. Arlington Ave., Reno, Nevada. Some members attended the meeting via telephone.

ATTENDING:

Bishop Randolph R. Calvo, DD, JCD
Mr. Mike Quilici, Chief Development Officer
Reverend William Nadeau, SFA Parish Priest, SFA CPC President
Dianne Severance, SFA FC Chair, SFA CPC Treasurer
John Keehan, SFA Business Manager, SFA CPC Secretary

GUESTS:

Rich Todd CPA, Diocese Director of Audit & Parish Support
Tim Cleary, CPA, SFA Contract Accountant
Saundra Chacon-Whitt, St. Francis of Assisi Bookkeeper

NOT IN ATTENDANCE:

Fred Weber, Diocese Chief Financial Officer
Reverend Charles Durante, VG, SFA CPC Vice President

OPENING PRAYER

Reverend William Nadeau opened the meeting at 1:35 PM with a prayer.

ROLL CALL

Those in attendance noted above.

APPOINTMENT OF OFFICERS

On a motion made by Dianne Severance and seconded by Reverend William Nadeau, John Keehan was appointed Secretary.

MINUTES

On motion made by Dianne Severance and seconded by Reverend William Nadeau, the December 1, 2016 the St. Francis of Assisi Catholic Parish Corporation (SFA CPC) minutes were approved.

ADDITIONS TO THE AGENDA

Reverend William Nadeau requested the results of TTT Capital Campaign, possible future build of parking lot/parish hall, and adopting a parish be added to the agenda.

REVIEW OF FY 2016-17 FINANCIAL STATEMENTS

Rich Todd reviewed the Fiscal year results for 2016-17 using a historical spreadsheet. Total income was \$41,201 lower than the budgeted goal of \$961,550. The key

component of this shortfall was ministries being \$54,179 short of goal. It was noted that CSA rebates and many parishioner donations went to the endowment fund and that these will be directed to ministries FY 2017-18.

Total expenses were \$46,507 lower than the budgeted goal of \$961,550. Under budget items were ministries at \$38,967, support personnel at \$17,167, and clergy at \$8,889. The main over budget items were G&A with depreciation and social functions being a combined \$11,488 over budget.

The above resulted in a modest net income of \$5,306.

Lastly, restricted funds (the entity used to cover building expenses) decreased \$57,385.

RATIFICATION OF BUDGET

The board of directors reviewed 2017-18 Fiscal Year budget. A balanced budget was approved with both revenues and expenses being \$972,145. The key components on the revenue side include an increase in offertory of \$20,648, an increase in ministries of \$56,674, and a decrease in CSA rebates of \$20,067.

The key components on the expense side include an increase in ministries of \$11,376, an increase in support personnel (mostly new youth minister) of \$44,034, an increase in clergy (fingers crossed) of \$29,713, and a decrease in G&A (mostly new copier lease) of \$27,130.

On a motion made by Dianne Severance and seconded by Reverend William Nadeau, the FY 2017-2018 budget was ratified.

DISCUSSION/APPROVAL OF CONSTRUCTION PROJECTS

No current construction projects over \$10,000.

STATUS OF SYNOD INITIATIVES

Reverend William Nadeau sent Bishop Calvo an update. Bishop Calvo is happy with what the parish is doing and noted that we are pursuing our initiatives in a very good way. It was mentioned that St. Francis is a model that other parishes should follow.

OTHER ITEMS

John Keehan updated the board on the TTT Capital Campaign results. St. Francis has \$300,000 in pledges over its goal of \$854,000 and is only \$11,000 short in actual received donations received of making the goal. The participation rate is highest in the diocese at 29%. The Parish will be making a commitment push the weekend of Oct. 7/8 in the hopes of increasing the participation rate to the mid 40's.

Reverend William Nadeau will met with both the finance and pastoral councils regarding the possible construction of a multi-purpose building. A feasibility study will be conducted and updates will be provided.

Reverend William Nadeau mentioned that some parishioners would like to "adopt a parish." As with above, a feasibility study will be conducted. The parish would likely have to choose between a new building or adopt a parish.

Reverend William Nadeau reiterated his desire to have a Spanish speaking priest. If not a full time perhaps just someone to help occasionally on Sunday afternoons. Bishop Calvo noted that this is a challenging year for personnel.

CLOSING PRAYER

Bishop Calvo concluded the meeting with a closing prayer.

ADJOURNMENT

Having no other business, the meeting was adjourned at 2PM by unanimous consent.

NEXT ANNUAL MEETING:

TBD

**Administrative Permit Application
Supplemental Information**
(All required information may be separately attached)

1. What is the type of project or use being requested?

Church addition of offices and classrooms

2. What section of the Washoe County code requires the Administrative permit required?

Sec. 110.904.20

3. What currently developed portions of the property or existing structures are going to be used with this permit?

12.31 acre site and existing church.

4. What improvements (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.) will have to be constructed or installed and what is the projected time frame for the completion of each?

Proposed construction summer of 2020

5. Is there a phasing schedule for the construction and completion of the project?

No.

6. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

The 12.31 acre site, the existing church.

7. What are the anticipated beneficial aspects or effect your project will have on adjacent properties and the community?

More space for existing operations.

8. What will you do to minimize the anticipated negative impacts or effect your project will have on adjacent properties?

Install temp and permanent BMPs. Limit construction hours

9. Please describe any operational parameters and/or voluntary conditions of approval to be imposed on the administrative permit to address community impacts.

N/A

10. How many improved parking spaces, both on-site and off-site, are available or will be provided? (Please indicate on site plan.)

--

11. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan.)

No landscaping proposed.

12. What type of signs and lighting will be provided? On a separate sheet, show a depiction (height, width, construction materials, colors, illumination methods, lighting intensity, base landscaping, etc.) of each sign and the typical lighting standards. (Please indicate location of signs and lights on site plan.)

No signage proposed

13. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the administrative permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
------------------------------	--

14. Utilities:

a. Sewer Service	IVGID
b. Water Service	IVGID

For most uses, the Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required:

c. Permit #		acre-feet per year	
d. Certificate #		acre-feet per year	
e. Surface Claim #		acre-feet per year	
f. Other, #		acre-feet per year	

Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources):

--

Account Detail

[Back to Account Detail](#)

[Change of Address](#)

[Print this Page](#)

CollectionCart

Collection Cart	Items	Total	Checkout	View
	0	\$0.00		

Pay Online

No payment due for this account.

Washoe County Parcel Information

Parcel ID	Status	Last Update
12403162	Active	2/11/2020 2:09:26 AM

Current Owner:
ST FRANCIS OF ASSISI REAL PROPERTY LLC

290 S ARLINGTON AVE STE 200
RENO, NV 89501

SITUS:
701 MOUNT ROSE HWY
INCLINE VILLAGE NV

Taxing District
5200

Geo CD:

Legal Description

Township 16 Section 16 Lot Block Range 18 SubdivisionName _UNSPECIFIED

Tax Bill (Click on desired tax year for due dates and further details)

Tax Year	Net Tax	Total Paid	Penalty/Fees	Interest	Balance Due
2019	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
2018	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
2017	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
2016	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
2015	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Total					\$0.00

Disclaimer

- **ALERTS:** If your real property taxes are delinquent, the search results displayed may not reflect the correct amount owing. Please contact our office for the current amount due.
- For your convenience, online payment is available on this site. E-check payments are accepted without a fee. However, a service fee does apply for online credit card payments. See Payment Information for details.

Pay By Check

Please make checks payable to:
WASHOE COUNTY TREASURER

Mailing Address:
P.O. Box 30039
Reno, NV 89520-3039

Overnight Address:
1001 E. Ninth St., Ste D140
Reno, NV 89512-2845



ST. FRANCIS OF ASSISI CHURCH, ADDITION
701 MT. ROSE HWY / APN: 124-030-62

Project Description:

The applicant is proposing to add office and classroom space to the existing church. The proposed expansion will not result in an intensification of the existing use but will facilitate classrooms and offices for uses that are part of the church's current operation. The uses currently use the hallway outside the admin office in the lower level of the church building.

Height:

The proposed addition will not exceed the allowable height per the TRPA Code of Ordinances.

Coverage:

The applicant proposes to create a project area with the church owned parcel across Kelly Dr. from the church; APN 124-032-01. The site currently contains the Pastor's residence and an ancillary parking lot for the church. The proposed coverage will be within the limits of the Bailey system.

BMPs:

The applicant will install both temporary and permanent BMPs with the capacity to infiltrate all run-off from the site.

Construction:

The proposed construction will be staged in the east parking lot. Temporary BMPs including filter fabric and construction fencing as well as waddles will prevent any run-off from disturbed areas. Permanent BMPs will be sized to infiltrate all runoff from impervious surfaces.

Tree Removal:

No trees are proposed to be removed as part of this project.

ST. FRANCIS OF ASSISI CHURCH, ADDITION
701 MT. ROSE HWY / APN: 124-030-62

Project Description:

Administrative Permit

The applicant is proposing to add office and classroom space to the existing church. Currently the church contains approximately 12,156 s.f. of floor area. The proposed two-story addition contains approximately 1,952 s.f. of floor area which is greater than (>) 10% of existing floor area; therefore, an administrative permit is required.

Director's Modification

In addition to the Administrative Permit application, the applicant is filing a Director's Modification application to waive the landscaping standards. The site is located in a densely forested area of Incline Village. The church was constructed in the 1960s and has created and maintained ornamental landscaping around the property while retaining the existing, natural pine forest. Please refer to photos submitted as part of this application.

Background

The church received a Washoe County Director's Modification permit on September 26, 2019 that waived the landscaping requirement for the auxiliary parking area located on and adjacent property on Kelly Drive which is utilized as overflow parking. The premise of the permit is due to the abundance of existing trees which provide shade and an aesthetic surrounding.

Use

The proposed expansion will not result in an intensification of the existing use but will facilitate classrooms and offices for uses that are part of the church's current operation. The uses currently use the hallway outside the admin office in the lower level of the church building.

Height

The proposed addition will not exceed the allowable height per the TRPA Code of Ordinances.

Coverage:

The applicant proposes to create a project area with the church owned parcel across Kelly Dr. from the church; APN 124-032-01. The site currently contains the Pastor's residence and an ancillary parking lot for the church. The proposed coverage will be within the limits of the Bailey system.

BMPs

The applicant will install both temporary and permanent BMPs with the capacity to infiltrate all run-off from the site for a 20 year one hour storm.

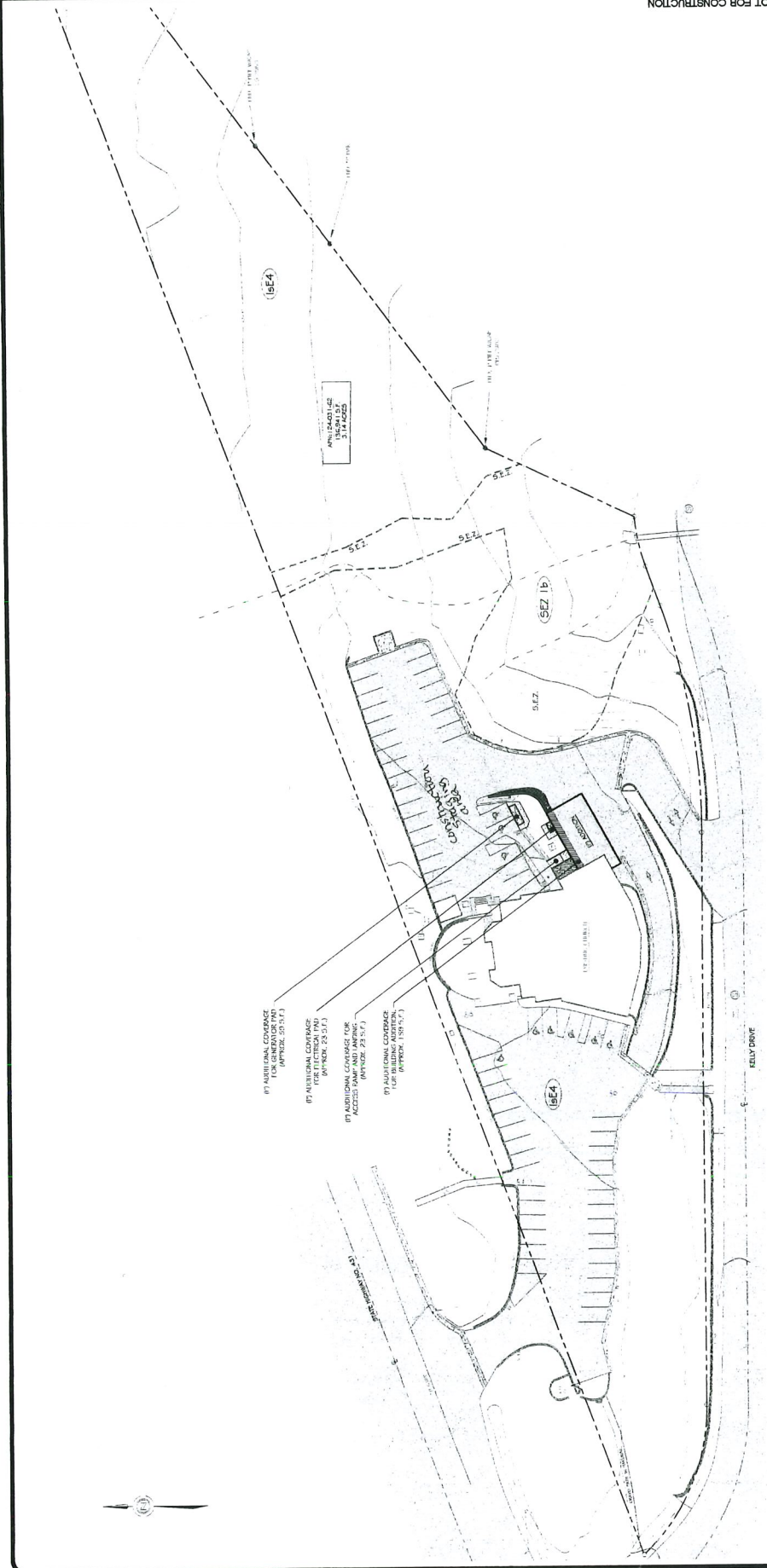
Construction

The proposed construction will be staged in the east parking lot. Temporary BMPs including filter fabric and construction fencing as well as waddles will prevent any runoff from disturbed areas. Permanent BMPs will be sized to infiltrate all runoff from impervious surfaces.

Tree Removal

No trees are proposed to be removed as part of this project.

NOT FOR CONSTRUCTION



SITE PLAN OVERVIEW
SCALE: 1" = 30'-0"

PROJECT AREA TOTALS	
APN: 124-031-62 & 124-032-01	
PROJECT AREA ALLOWABLE COVERAGE:	54,279 S.F.
APN: 124-031-62	54,279 S.F.
APN: 124-032-01	0 S.F.
TOTAL PROPOSED AREA ALLOWABLE COVERAGE:	54,279 S.F.
PROJECT AREA EXISTING COVERAGE:	42,200 S.F.
APN: 124-031-62	42,200 S.F.
APN: 124-032-01	0 S.F.
TOTAL EXISTING AREA EXISTING COVERAGE:	42,200 S.F.
PROJECT AREA PROPOSED COVERAGE:	12,079 S.F.
APN: 124-031-62	12,079 S.F.
APN: 124-032-01	0 S.F.
TOTAL PROPOSED AREA PROPOSED COVERAGE:	12,079 S.F.

APN: 124-031-62	
PROPOSED COVERAGE:	
LAND CAPABILITY (SEZ 1B):	0 S.F.
NO COVERAGE:	0 S.F.
TOTAL PROPOSED (SEZ 1B) COVERAGE:	0 S.F.
LAND CAPABILITY (SE4):	32,007 S.F.
ASPHALT & CONCRETE:	7,345 S.F.
EXISTING BUILDING & NEW ADDITION:	1,252 S.F.
OUTDOOR GATHERING AREA:	140 S.F.
PAST ENTRY WALKWAY:	140 S.F.
STEPS TO KELLY DRIVE:	951 S.F.
RAILROAD TIES, STIFFING STONES:	161 S.F.
CONCRETE PADS (MATCH EQUIPMENT, TRASH):	68 S.F.
ELECTRIC AND GENERATOR PADS:	68 S.F.
CONCRETE PADS (MATCH EQUIPMENT, TRASH):	68 S.F.
TOTAL PROPOSED (SE4) COVERAGE:	42,200 S.F.
TOTAL PROPOSED COVERAGE:	42,200 S.F.

APN: 124-031-62	
EXISTING COVERAGE:	
LAND CAPABILITY (SEZ 1B):	0 S.F.
NO COVERAGE:	0 S.F.
TOTAL EXISTING (SEZ 1B) COVERAGE:	0 S.F.
LAND CAPABILITY (SE4):	32,005 S.F.
ASPHALT & CONCRETE:	6,333 S.F.
EXISTING BUILDING:	1,852 S.F.
OUTDOOR GATHERING AREA:	191 S.F.
PAST ENTRY WALKWAY:	140 S.F.
STEPS TO KELLY DRIVE:	951 S.F.
RAILROAD TIES, STIFFING STONES:	161 S.F.
CONCRETE PADS (MATCH EQUIPMENT, TRASH):	68 S.F.
TOTAL EXISTING (SE4) COVERAGE:	42,200 S.F.
TOTAL EXISTING COVERAGE:	42,200 S.F.

APN: 124-031-62	
ALLOWABLE COVERAGE:	
APN: 124-031-62 (AREA) PER LOT:	1,648 S.F.
LAND CAPABILITY (SE4):	120,283 S.F.
TOTAL PARCEL AREA:	136,941 S.F.
APN: 124-031-62 (ALLOWABLE PER LOT):	146 S.F.
APN: 124-031-62 (TOTAL ALLOWABLE PER LOT):	24,089 S.F.
ALLOWABLE COVERAGE (SE4, SE7, SE15, SE16):	24,089 S.F.
TOTAL ALLOWABLE COVERAGE:	24,235 S.F.
APN: 124-032-01 (ALLOWABLE PER LOT):	170 S.F.
LAND CAPABILITY (SE4):	6,395 S.F.
TOTAL ALLOWABLE COVERAGE (AREA):	6,395 S.F.
APN: 124-032-01 (TOTAL ALLOWABLE PER LOT):	10,446 S.F.
ALLOWABLE COVERAGE (SE4, SE7, SE15, SE16):	10,446 S.F.
TOTAL ALLOWABLE COVERAGE:	10,446 S.F.

APN: 124-032-01	
EXISTING COVERAGE:	
LAND CAPABILITY (SE4):	6,395 S.F.
NO COVERAGE:	0 S.F.
TOTAL EXISTING (SE4) COVERAGE:	6,395 S.F.
LAND CAPABILITY (SE4):	6,395 S.F.
NO COVERAGE:	0 S.F.
TOTAL EXISTING (SE4) COVERAGE:	6,395 S.F.
LAND CAPABILITY (SE4):	6,395 S.F.
NO COVERAGE:	0 S.F.
TOTAL EXISTING (SE4) COVERAGE:	6,395 S.F.
LAND CAPABILITY (SE4):	6,395 S.F.
NO COVERAGE:	0 S.F.
TOTAL EXISTING (SE4) COVERAGE:	6,395 S.F.

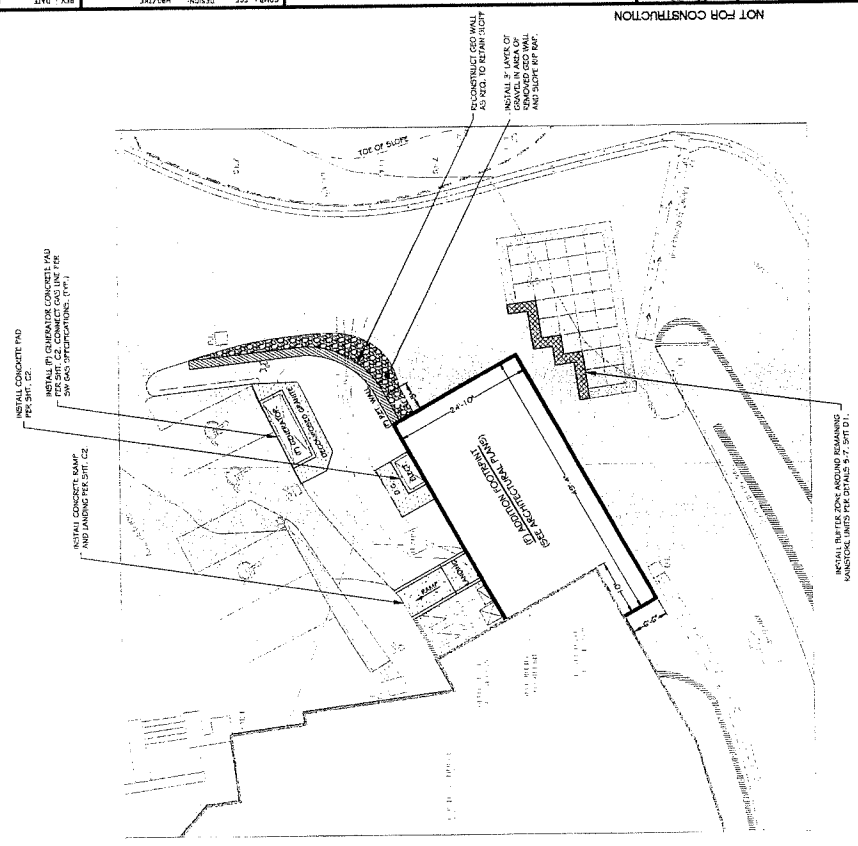
APN: 124-032-01	
ALLOWABLE COVERAGE:	
APN: 124-032-01 (AREA) PER LOT:	28,916 S.F.
LAND CAPABILITY (SE4):	534,129 S.F.
TOTAL PARCEL AREA:	563,045 S.F.
APN: 124-032-01 (ALLOWABLE PER LOT):	298 S.F.
ALLOWABLE COVERAGE (SE4, SE7, SE15, SE16):	67,648 S.F.
TOTAL ALLOWABLE COVERAGE:	67,648 S.F.
APN: 124-032-01 (TOTAL ALLOWABLE PER LOT):	711,281 S.F.
ALLOWABLE COVERAGE (SE4, SE7, SE15, SE16):	67,648 S.F.
TOTAL ALLOWABLE COVERAGE:	67,648 S.F.

(A) EXISTING COVERAGE PER THE "NEW" PARCEL NUMBER (LAND LOTS) (1/18)
(B) EXISTING COVERAGE PER THE "NEW" PARCEL NUMBER (LAND LOTS) (1/18)

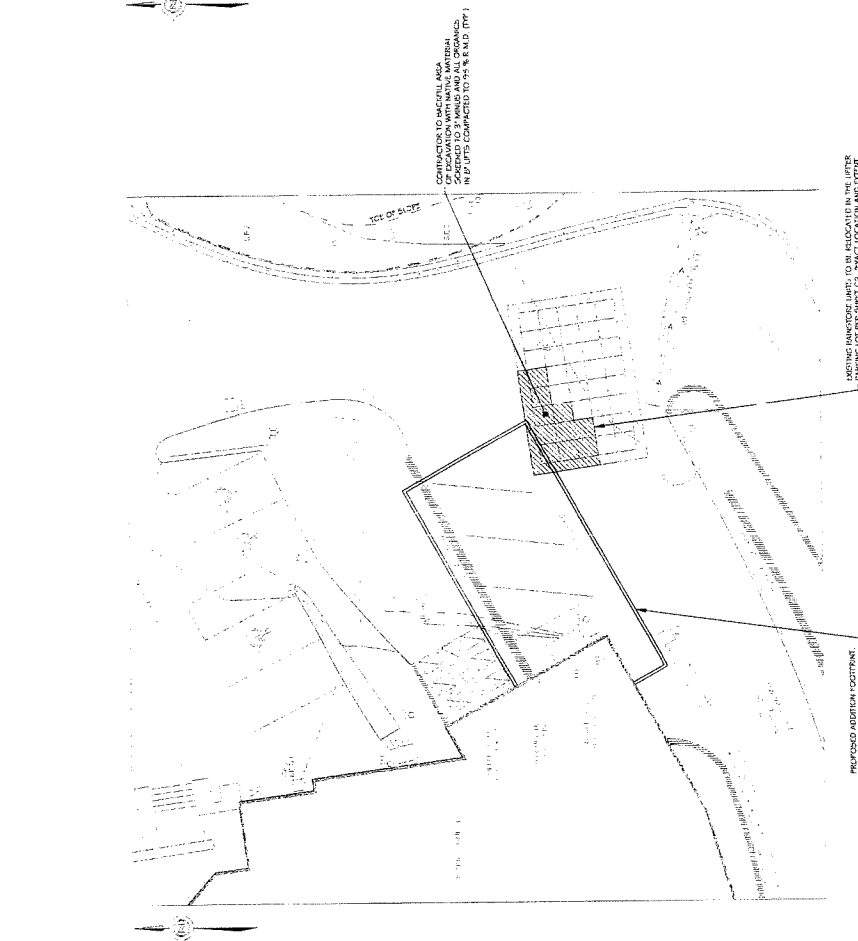


DATE: DECEMBER 22, 2018	CDR: JJJ
PROJECT: ST. FRANCIS OF ASSISI CHURCH-ADDITION PROJECT	SCALE: AS SHOWN
DATE: DECEMBER 22, 2018	DATE: DECEMBER 22, 2018
DATE: DECEMBER 22, 2018	DATE: DECEMBER 22, 2018
DATE: DECEMBER 22, 2018	DATE: DECEMBER 22, 2018
DATE: DECEMBER 22, 2018	DATE: DECEMBER 22, 2018
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DATE: DECEMBER 22, 2018	DATE: DECEMBER 22, 2018
DATE: DECEMBER 22, 2018	DATE: DECEMBER 22, 2018
DATE: DECEMBER 22, 2018	DATE: DECEMBER 22, 2018

NOT FOR CONSTRUCTION



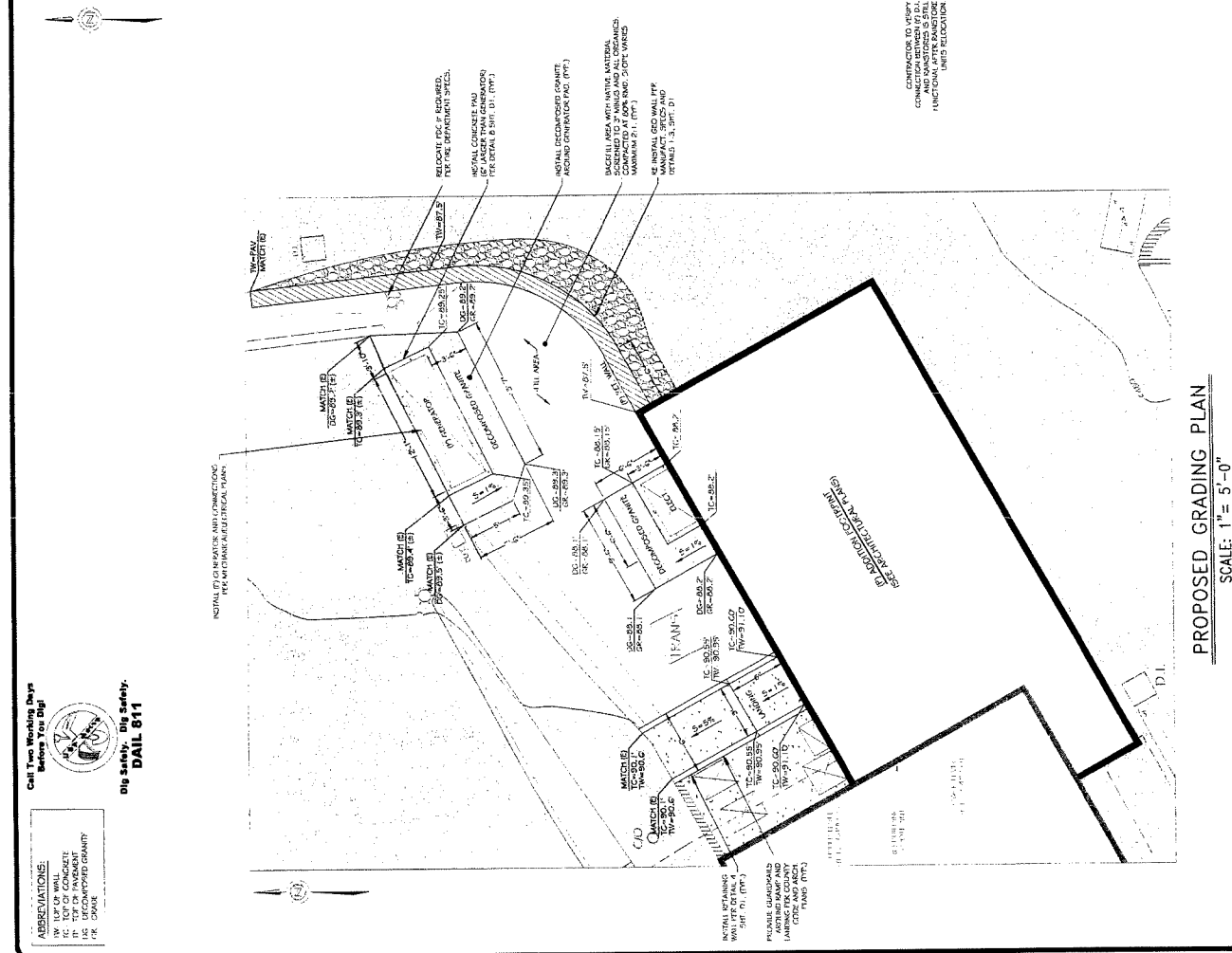
PROPOSED SITE PLAN
SCALE: 1" = 10'-0"



EXISTING SITE PLAN
SCALE: 1" = 10'-0"



DATE: DECEMBER 27, 2019
 SCALE: AS NOTED
 PROJECT: ST. FRANCIS OF ASSISI CHURCH-ADDITION PROJECT
 DRAWING: GRADING AND DRAINAGE PLANS
 SHEET: C2



NOT FOR CONSTRUCTION

PROPOSED DRAINAGE PLAN
 SCALE: 1" = 10'-0"

PROPOSED GRADING PLAN
 SCALE: 1" = 5'-0"

ST. FRANCIS OF ASSISI CHURCH-ADDITION PROJECT

DETAILS

D1

DATE: DECEMBER 27, 2019

SCALE: AS SHOWN

PROJECT: ST. FRANCIS OF ASSISI CHURCH-ADDITION PROJECT

DATE: DECEMBER 27, 2019

SCALE: AS SHOWN

PROJECT: ST. FRANCIS OF ASSISI CHURCH-ADDITION PROJECT

APPROVED DATE

DATE

REVISION

DATE

DESCRIPTION

DATE

DESCRIPTION

DATE

DESCRIPTION

RETAINING WALL SCHEDULE

WALL TYPE	MAX. HEIGHT	MIN. BACKFILL	MIN. FOOTING	MIN. FOUNDATION	MIN. FINISH
TYPE 1	10'	12"	12"	18"	18"
TYPE 2	8'	12"	12"	18"	18"
TYPE 3	6'	12"	12"	18"	18"
TYPE 4	4'	12"	12"	18"	18"
TYPE 5	2'	12"	12"	18"	18"

CONCRETE SLAB PER SCHEDULE

REINFORCED CONCRETE PER SCHEDULE

GEOWEB PER SCHEDULE

FINISH PER SCHEDULE

FOUNDATION PER SCHEDULE

FOOTING PER SCHEDULE

BACKFILL PER SCHEDULE

MIN. FINISH PER SCHEDULE

MIN. FOUNDATION PER SCHEDULE

MIN. FOOTING PER SCHEDULE

MIN. BACKFILL PER SCHEDULE

MAX. HEIGHT PER SCHEDULE

WALL TYPE PER SCHEDULE

CONCRETE RETAINING WALL DETAIL

NOTE: COMPENSATED SAND GRADE PER SCHEDULE. FINISH PER SCHEDULE. FOUNDATION PER SCHEDULE. FOOTING PER SCHEDULE.

GEO WALL STD. GRID AND FIN CONNECTION

Geogrid is to be placed on Level Backfill and Extended Over the Finishing. Finishing, Paving, and Backfill. Slope as required.

GEO WALL LEVELING PAD DETAIL

Elevation

GEO WALL STD. UNIT WALL SECTION

RAINSTORE MAINTENANCE PORT

RAINSTORE 3 SYSTEM

(Typ. R30 Installation below paving)

RAINSTORE UNIT DETAIL

1 SQUARE ON 8" x 8" TO STACKED UNITS

CONCRETE SLAB DETAIL

GENERAL SHEET NOTES

1. SEE GENERAL NOTES AND SPECIFICATIONS TO THESE DRAWINGS FOR ALL DIMENSIONS UNLESS OTHERWISE NOTED ON THIS SHEET.
2. DIMENSIONS ARE GIVEN UNLESS OTHERWISE NOTED. DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED.
3. SEE EXISTING AS SHOWN ON ALL EXISTING FLOOR PLANS.
4. ALL DIMENSIONS SHALL BE TO THE UNFINISHED SURFACE UNLESS OTHERWISE NOTED.
5. NOTES ARE TYPICAL. NOT ALL DIMENSIONS SHOWN ON ALL SHEETS.

SHEET KEYNOTES

NEW CONSTRUCTION

1. CONCRETE SHALL BE 4000 PSI COMPRESSIVE STRENGTH.
2. ALL CONCRETE SHALL BE CAST IN PLACE.
3. ALL CONCRETE SHALL BE CURED PROPERLY.
4. ALL CONCRETE SHALL BE FINISHED TO THE FINISH SURFACE UNLESS OTHERWISE NOTED.
5. ALL CONCRETE SHALL BE FINISHED TO THE FINISH SURFACE UNLESS OTHERWISE NOTED.
6. ALL CONCRETE SHALL BE FINISHED TO THE FINISH SURFACE UNLESS OTHERWISE NOTED.
7. ALL CONCRETE SHALL BE FINISHED TO THE FINISH SURFACE UNLESS OTHERWISE NOTED.
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17. ALL CONCRETE SHALL BE FINISHED TO THE FINISH SURFACE UNLESS OTHERWISE NOTED.
18. ALL CONCRETE SHALL BE FINISHED TO THE FINISH SURFACE UNLESS OTHERWISE NOTED.
19. ALL CONCRETE SHALL BE FINISHED TO THE FINISH SURFACE UNLESS OTHERWISE NOTED.
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NOT FOR CONSTRUCTION

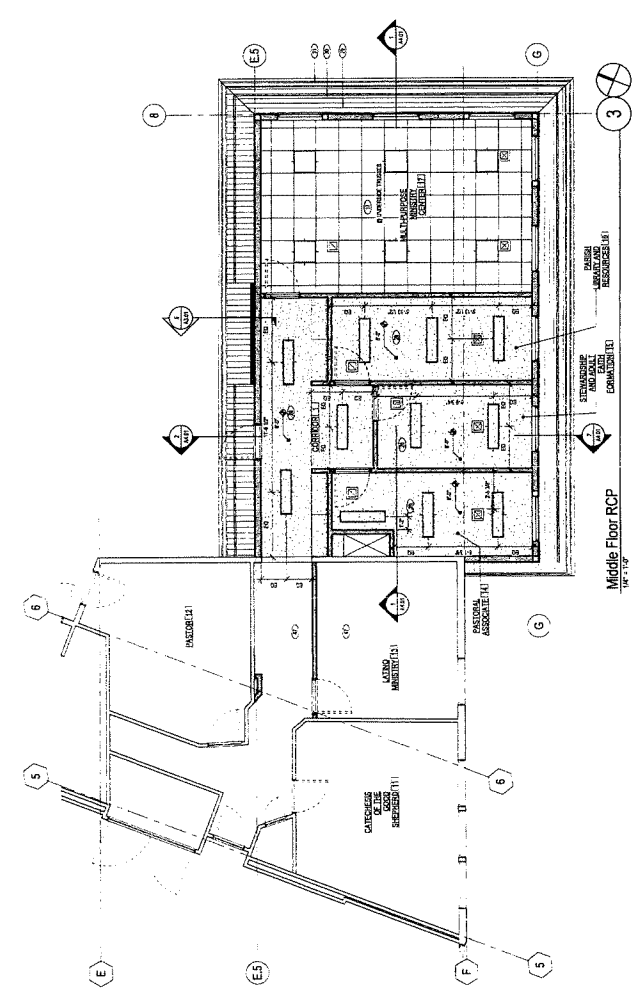
ST. FRANCIS OF ASSISI CLASSROOM ADDITION

A.P.N. 92400482
701 MT. ROSE HWY
INCLINE VILLAGE, NV 89451
DATE: 11/10/2017
BY: [Signature]

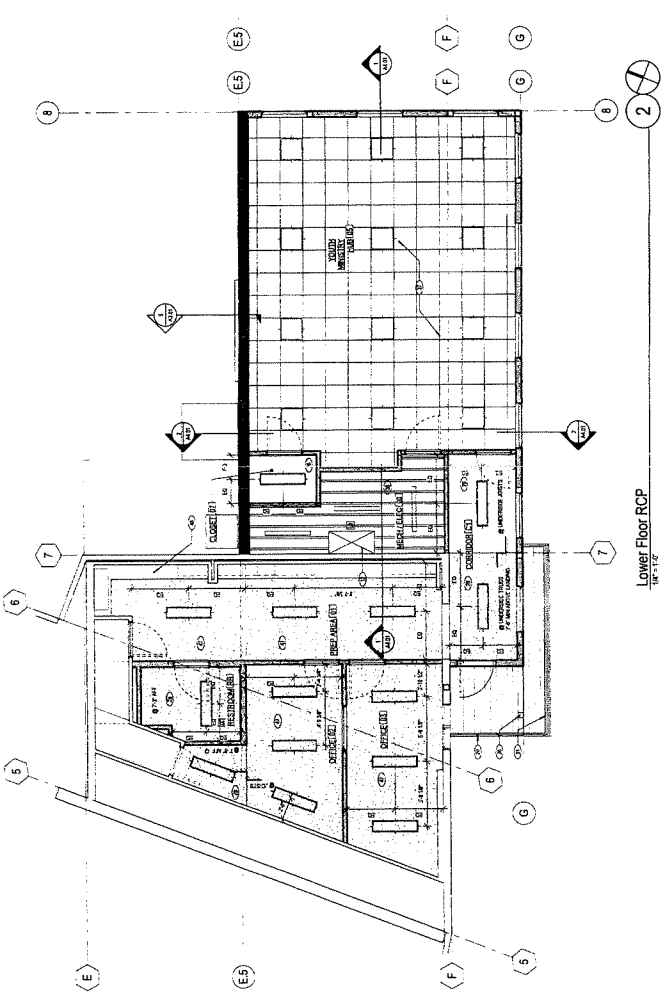
TRPA SET

ROOF PLAN, REFLECTED CEILING PLANS

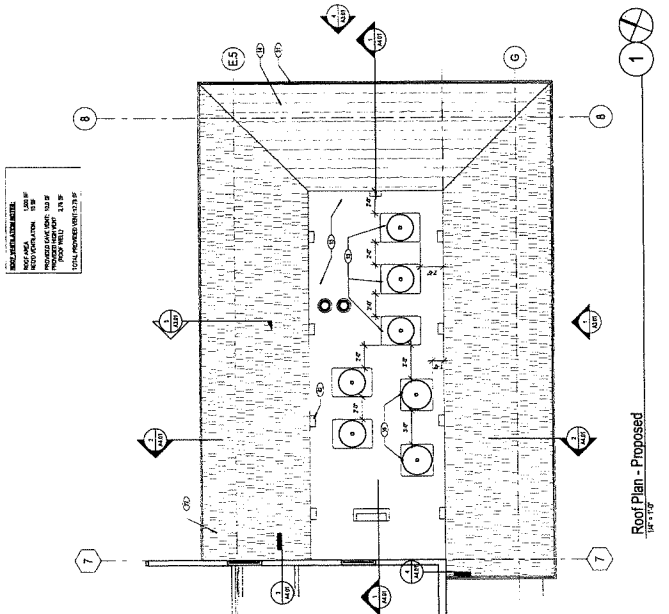
A2.02



Middle Floor RCP
11/10/17



Lower Floor RCP
11/10/17



Roof Plan - Proposed
11/10/17

ROOF AREA	1,000 SF
CEILING AREA	1,000 SF
TOTAL FLOOR AREA	2,000 SF
TOTAL FLOOR AREA	2,000 SF

GENERAL SHEET NOTES

1. SEE GENERAL NOTES TO THESE PLANS IN THE A3 SERIES OF SHEETS IN THE PROJECT MANUAL FOR GENERAL NOTES AND SPECIFICATIONS.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODES AND ALL APPLICABLE LOCAL ORDINANCES.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL PLUMBING AND MECHANICAL CODES AND ALL APPLICABLE LOCAL ORDINANCES.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL FIRE AND SAFETY CODES AND ALL APPLICABLE LOCAL ORDINANCES.
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ENERGY EFFICIENCY CODES AND ALL APPLICABLE LOCAL ORDINANCES.
7. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SUSTAINABLE DESIGN AND CONSTRUCTION PRACTICES AND ALL APPLICABLE LOCAL ORDINANCES.
8. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ACCESSIBILITY STANDARDS AND ALL APPLICABLE LOCAL ORDINANCES.
9. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ENVIRONMENTAL STANDARDS AND ALL APPLICABLE LOCAL ORDINANCES.
10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL HEALTH AND SAFETY STANDARDS AND ALL APPLICABLE LOCAL ORDINANCES.
11. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL QUALITY MANAGEMENT STANDARDS AND ALL APPLICABLE LOCAL ORDINANCES.
12. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RISK MANAGEMENT STANDARDS AND ALL APPLICABLE LOCAL ORDINANCES.
13. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SUPPLY CHAIN MANAGEMENT STANDARDS AND ALL APPLICABLE LOCAL ORDINANCES.
14. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL LABOR STANDARDS AND ALL APPLICABLE LOCAL ORDINANCES.
15. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ETHICS STANDARDS AND ALL APPLICABLE LOCAL ORDINANCES.
16. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL TRANSPARENCY STANDARDS AND ALL APPLICABLE LOCAL ORDINANCES.
17. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ACCOUNTABILITY STANDARDS AND ALL APPLICABLE LOCAL ORDINANCES.
18. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL INTEGRITY STANDARDS AND ALL APPLICABLE LOCAL ORDINANCES.
19. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESPECT STANDARDS AND ALL APPLICABLE LOCAL ORDINANCES.
20. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESPONSIBILITY STANDARDS AND ALL APPLICABLE LOCAL ORDINANCES.

SHEET KEYNOTES

NEW CONSTRUCTION

1. UNLESS NOTED OTHERWISE, ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODES AND ALL APPLICABLE LOCAL ORDINANCES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL PLUMBING AND MECHANICAL CODES AND ALL APPLICABLE LOCAL ORDINANCES.
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8. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ENVIRONMENTAL STANDARDS AND ALL APPLICABLE LOCAL ORDINANCES.
9. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL HEALTH AND SAFETY STANDARDS AND ALL APPLICABLE LOCAL ORDINANCES.
10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL QUALITY MANAGEMENT STANDARDS AND ALL APPLICABLE LOCAL ORDINANCES.
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19. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESPONSIBILITY STANDARDS AND ALL APPLICABLE LOCAL ORDINANCES.
20. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SUSTAINABLE DESIGN AND CONSTRUCTION PRACTICES AND ALL APPLICABLE LOCAL ORDINANCES.

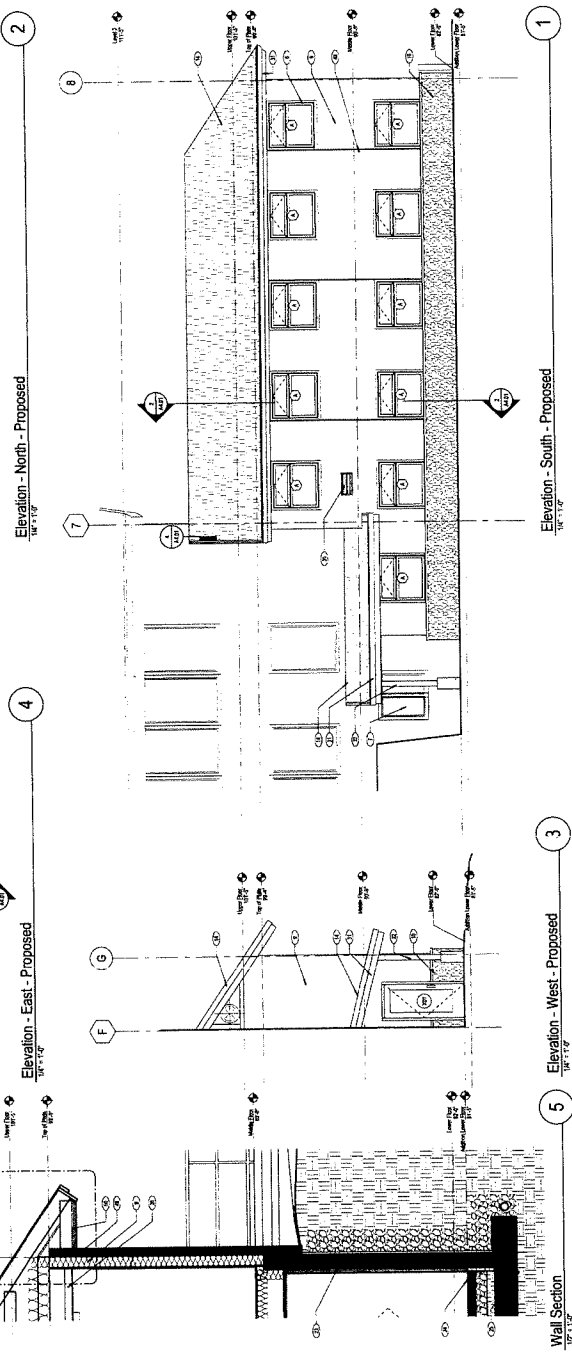
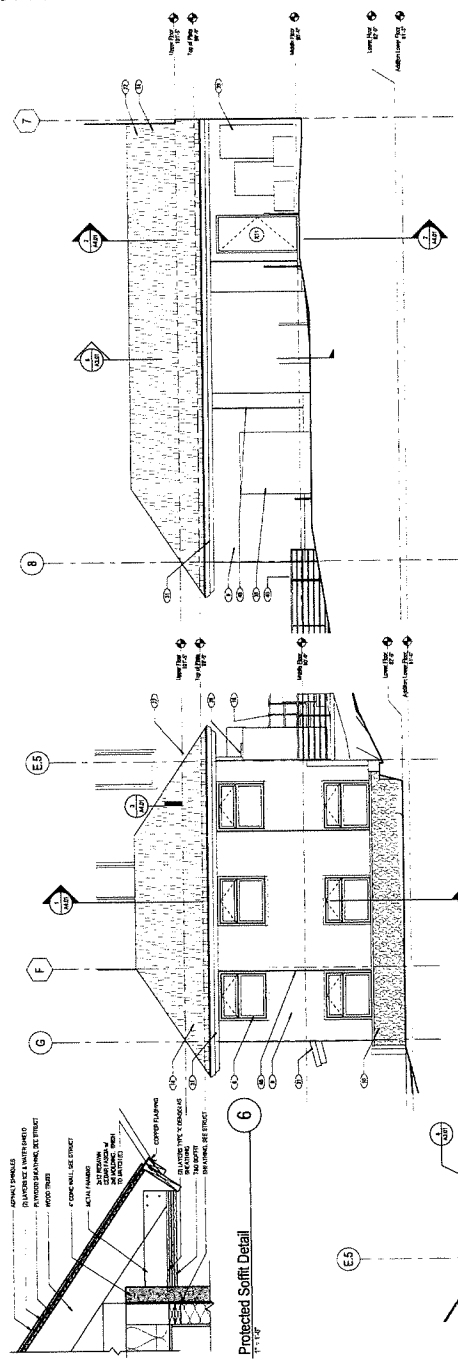
NOT FOR CONSTRUCTION

ST. FRANCIS OF ASSISI CLASSROOM ADDITION

A.P.N. 124-039-02
701 MT. ROSE HWY.
INDIHOE VILLAGE, NV 89451

TRPA SET
ELEVATIONS

A3.01



REVISIONS	
NO.	DATE
1	
2	

SHAW ENGINEERING
 20 Via Street
 Rock Hill, SC 29730
 Phone: (716) 225-6559
 Fax: (716) 225-6468
 Email: shaweng@shaweng.com
 Website: www.shaweng.com

SAINT FRANCIS OF ASSISI
 PARKING LOT PAVING
 LAND COVERAGE AND SITE PLAN



DRAWN BY: [Blank]
 CHECKED BY: [Blank]
 DATE: [Blank]
 JOB NO.: [Blank]

SHEET NUMBER
C1

EXISTING LAND COVERAGE

PARCEL 1 (APN 124-032-01)

LAND CAPABILITY AREA:

BUILDING	2183 S.F.
GRAVEL PAVING LOT	7458 S.F.
AC DRIVEWAY	112 S.F.
CONCRETE PATS	170 S.F.
TOTAL	8283 S.F.

* CALCULATED W/ 3:1 HEIGHT REDUCTION

TOTAL AREA COVERAGE = 8,283 S.F.

TOTAL PARCEL 1 ADDITIONAL COVERAGE = 142 S.F.

TOTAL LAND CAPABILITY AREA = 10,648 S.F.

ALL GRAVEL PAVING AREAS SHALL BE CONSTRUCTED WITH A MINIMUM OF 3% CROSS SLOPE AND A MINIMUM OF 1% LONGITUDINAL SLOPE. ALL CONCRETE DRIVEWAYS SHALL BE CONSTRUCTED WITH A MINIMUM OF 2% CROSS SLOPE AND A MINIMUM OF 1% LONGITUDINAL SLOPE. ALL DRIVEWAYS SHALL BE CONSTRUCTED WITH A MINIMUM OF 1% CROSS SLOPE AND A MINIMUM OF 1% LONGITUDINAL SLOPE. ALL DRIVEWAYS SHALL BE CONSTRUCTED WITH A MINIMUM OF 1% CROSS SLOPE AND A MINIMUM OF 1% LONGITUDINAL SLOPE. ALL DRIVEWAYS SHALL BE CONSTRUCTED WITH A MINIMUM OF 1% CROSS SLOPE AND A MINIMUM OF 1% LONGITUDINAL SLOPE.

PROPOSED CHANGE IN LAND COVERAGE

PARCEL 1 (APN 124-032-01)

LAND CAPABILITY AREA:

GRAVEL PAVING LOT	3216 S.F.
AC DRIVEWAY	2774 S.F.
CONCRETE PATS	558 S.F.
TOTAL	6548 S.F.

* CALCULATED W/ 3:1 HEIGHT REDUCTION

TOTAL AREA COVERAGE = 6,548 S.F.

TOTAL PARCEL 1 EXISTING COVERAGE = 19,843 S.F. (0.452)

TOTAL PARCEL 1 ADDITIONAL COVERAGE = 142 S.F.

TOTAL LAND CAPABILITY AREA = 10,648 S.F.

ALL GRAVEL PAVING AREAS SHALL BE CONSTRUCTED WITH A MINIMUM OF 3% CROSS SLOPE AND A MINIMUM OF 1% LONGITUDINAL SLOPE. ALL CONCRETE DRIVEWAYS SHALL BE CONSTRUCTED WITH A MINIMUM OF 2% CROSS SLOPE AND A MINIMUM OF 1% LONGITUDINAL SLOPE. ALL DRIVEWAYS SHALL BE CONSTRUCTED WITH A MINIMUM OF 1% CROSS SLOPE AND A MINIMUM OF 1% LONGITUDINAL SLOPE. ALL DRIVEWAYS SHALL BE CONSTRUCTED WITH A MINIMUM OF 1% CROSS SLOPE AND A MINIMUM OF 1% LONGITUDINAL SLOPE. ALL DRIVEWAYS SHALL BE CONSTRUCTED WITH A MINIMUM OF 1% CROSS SLOPE AND A MINIMUM OF 1% LONGITUDINAL SLOPE.

PROPOSED LAND COVERAGE

PARCEL 1 (APN 124-032-01)

LAND CAPABILITY AREA:

BUILDING	2183 S.F.
AC PARKING LOT	1128 S.F.
AC DRIVEWAY	112 S.F.
CONCRETE PATS	170 S.F.
TOTAL	4593 S.F.

* CALCULATED W/ 3:1 HEIGHT REDUCTION

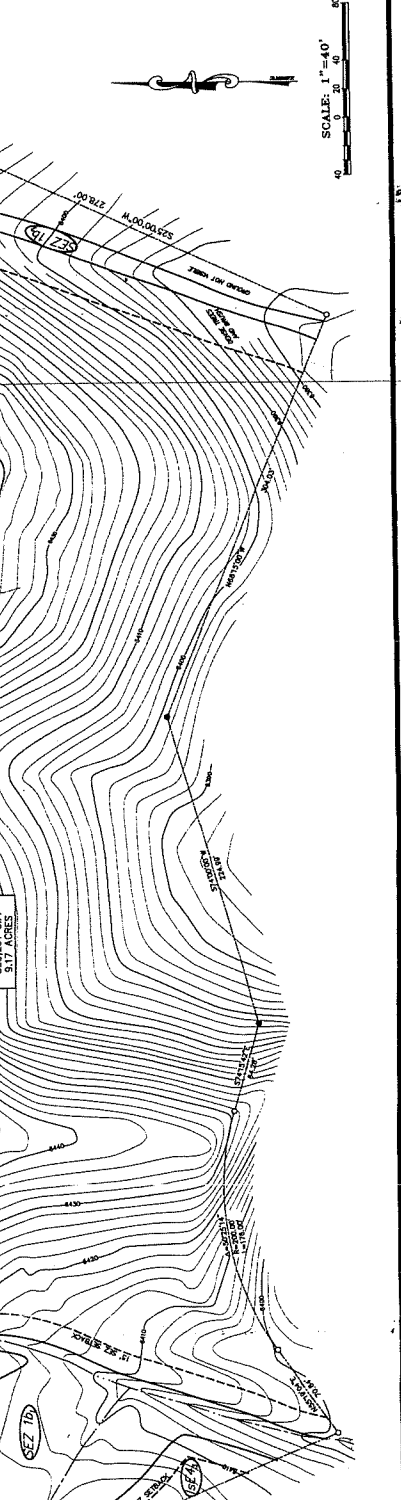
TOTAL AREA COVERAGE = 4,593 S.F.

TOTAL PARCEL 1 EXISTING COVERAGE = 19,843 S.F. (0.452)

TOTAL PARCEL 1 ADDITIONAL COVERAGE = 142 S.F.

TOTAL LAND CAPABILITY AREA = 10,648 S.F.

ALL GRAVEL PAVING AREAS SHALL BE CONSTRUCTED WITH A MINIMUM OF 3% CROSS SLOPE AND A MINIMUM OF 1% LONGITUDINAL SLOPE. ALL CONCRETE DRIVEWAYS SHALL BE CONSTRUCTED WITH A MINIMUM OF 2% CROSS SLOPE AND A MINIMUM OF 1% LONGITUDINAL SLOPE. ALL DRIVEWAYS SHALL BE CONSTRUCTED WITH A MINIMUM OF 1% CROSS SLOPE AND A MINIMUM OF 1% LONGITUDINAL SLOPE. ALL DRIVEWAYS SHALL BE CONSTRUCTED WITH A MINIMUM OF 1% CROSS SLOPE AND A MINIMUM OF 1% LONGITUDINAL SLOPE. ALL DRIVEWAYS SHALL BE CONSTRUCTED WITH A MINIMUM OF 1% CROSS SLOPE AND A MINIMUM OF 1% LONGITUDINAL SLOPE.

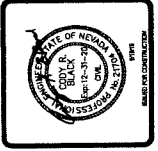


SCALE: 1" = 40'
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NO.	DESCRIPTION	DATE	BY
		9/17/19	

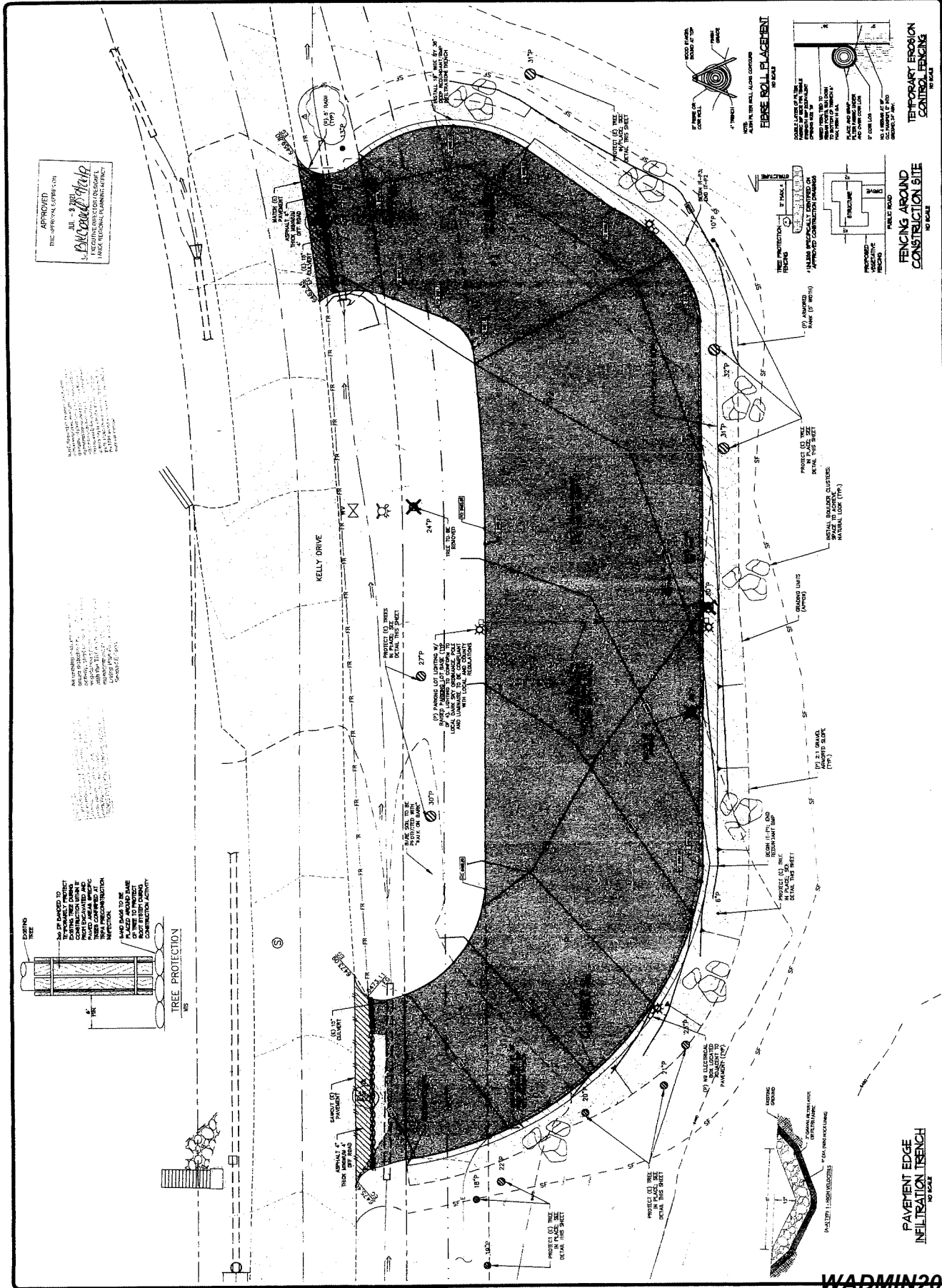
SHAW ENGINEERING
 20 Vine Street
 Reno, NV 89503
 Phone: (775) 326-6669
 Fax: (775) 326-6669
 Email: shaweng@shawengineering.com
 Website: www.shawengineering.com

SAINT FRANCIS OF ASSISI
 PARKING LOT PAVING
 GRADING & BMP PLAN

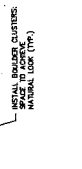
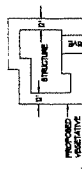
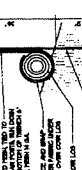
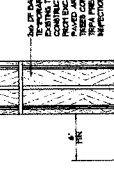


DRAWN BY:	
DESIGNED BY:	
DATE:	
COR. NO.:	
COR. NO.:	
COR. NO.:	

SHEET NUMBER
C2



APPROVED
 THE ORIGINAL DESIGNER
 JUL 8 2019
 SHAW ENGINEERING
 A PROFESSIONAL ENGINEERING FIRM
 LICENSED UNDER THE ENGINEERING ACT
 BOARD OF PROFESSIONAL ENGINEERS
 STATE OF NEVADA



PAVEMENT EDGE INFILTRATION TRENCH
 12' WIDE, 24" DEEP
 6' WIDE, 24" DEEP
 6' WIDE, 24" DEEP

WADMIN20-0004
 EXHIBIT D

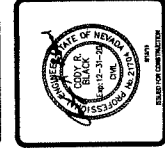
No.	DESCRIPTION	DATE	BY

REVISIONS

SHAW ENGINEERING
 20145 1st Street
 Boca Raton, FL 33433
 Phone: (772) 325-5599
 Toll Free: (800) 325-5599
 Fax: (772) 325-5406
 www.shawengineering.com
 shaw@shawengineering.com

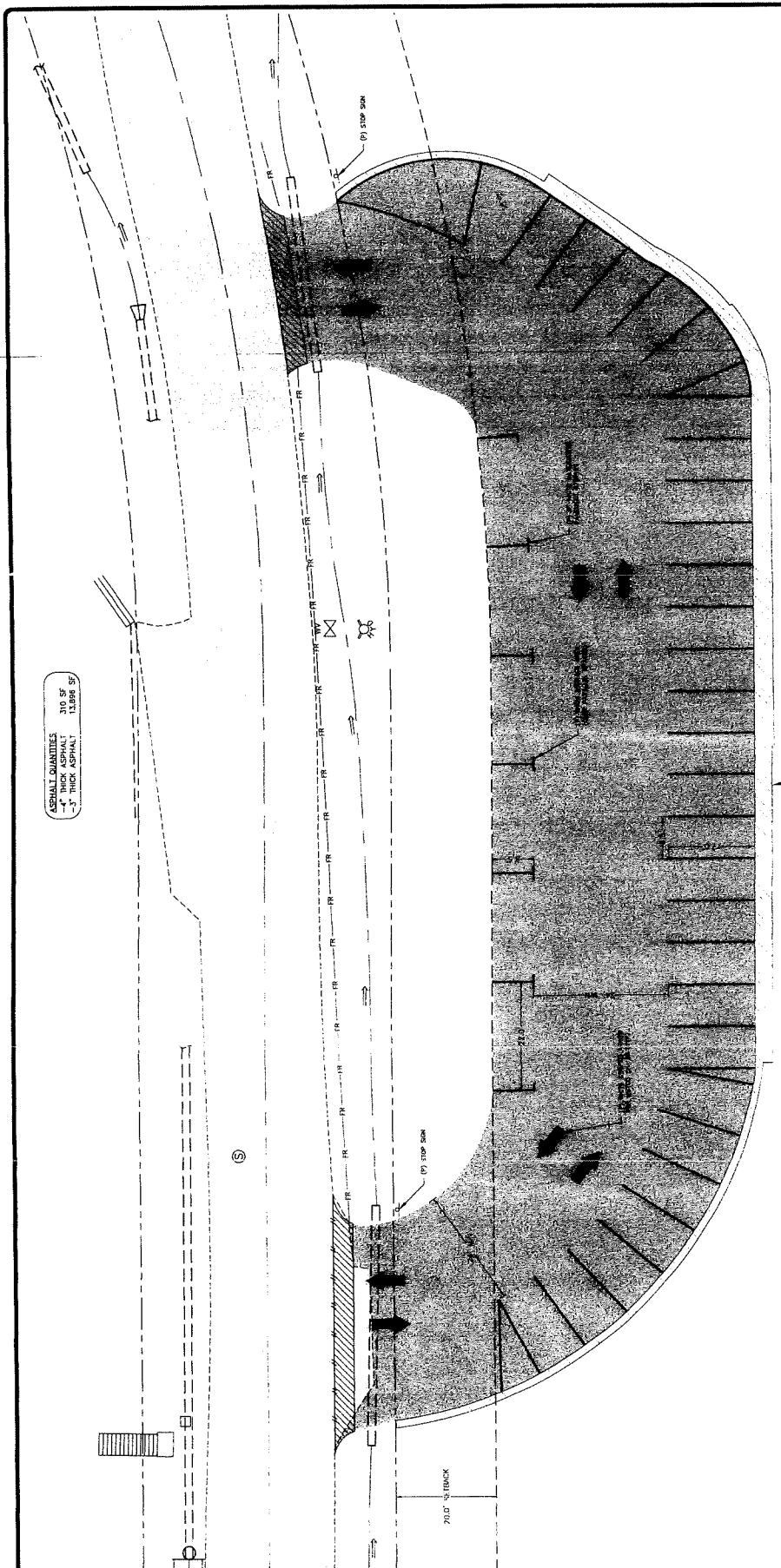
SAINT FRANCIS OF ASSISI
 PARKING LOT PAVING

STRIPING PLAN &
 PARKING LOT LIGHTING

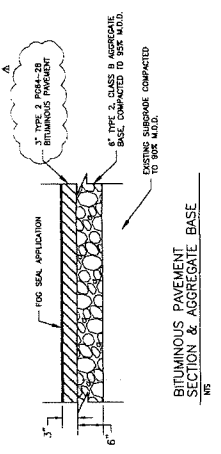


DRAWN BY: JEB
 CHECKED BY: JEB
 DATE: 08/12/18
 JOB NO. 18010

SHEET NUMBER
C3



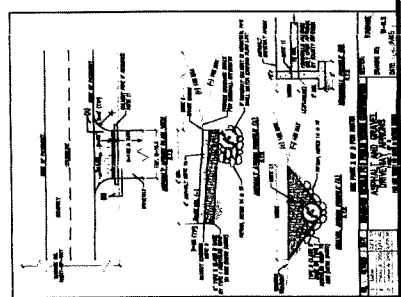
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(P) PAVEMENT EDGE
 MULTIPURPOSE FINISH: SEE
 SHEET C-2

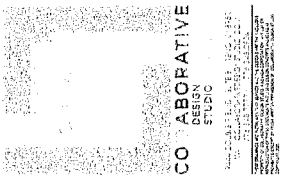
NO. 57 AGGREGATE BASE
 1\"/>

APPROVED
 08/12/18
 JEB
 PROJECT ENGINEER
 CIVIL ENGINEER
 LICENSE NO. 6155
 STATE OF NEVADA



NOTES:

1. ALL PAVING SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS, LATEST EDITION, AS APPLICABLE.
2. THE PAVING SHALL BE CONSTRUCTED TO THE FINISH ELEVATIONS SHOWN ON THIS PLAN.
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10. THE PAVING SHALL BE CONSTRUCTED TO THE FINISH ELEVATIONS SHOWN ON THIS PLAN.



**ST. FRANCIS
OF ASSISI -
ADDITION**

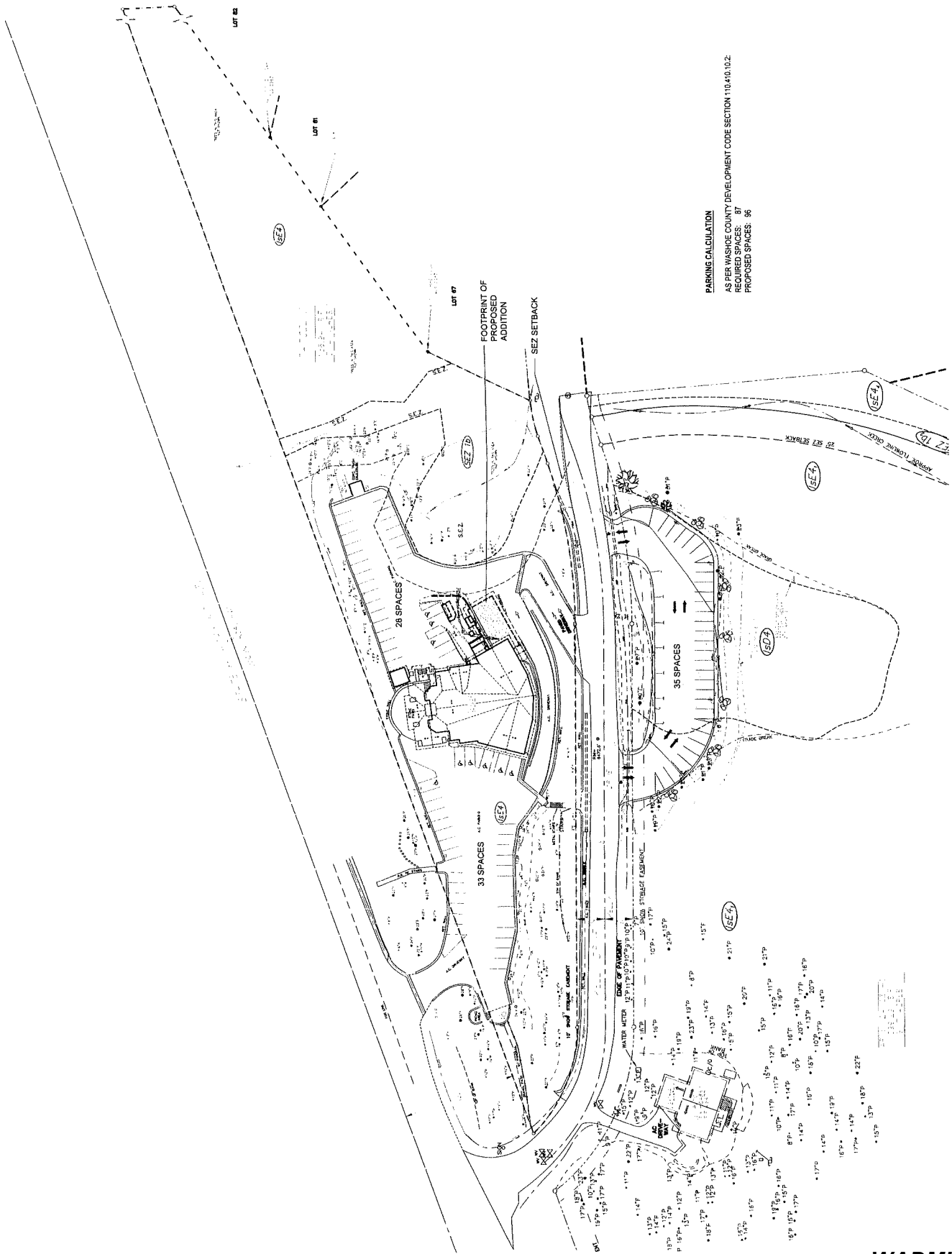
A.P.N. 124-03-162
701 MT ROSE HIGHWAY
INCLINE VILLAGE, NY 89451
WASHOE COUNTY

DATE: 11/18/2020
DRAWN BY: [illegible]

TRPA APPLICATION

PROPOSED SITE PLAN

A1.01



PARKING CALCULATION
AS PER WASHOE COUNTY DEVELOPMENT CODE SECTION 110.4.10.2:
REQUIRED SPACES: 87
PROPOSED SPACES: 96

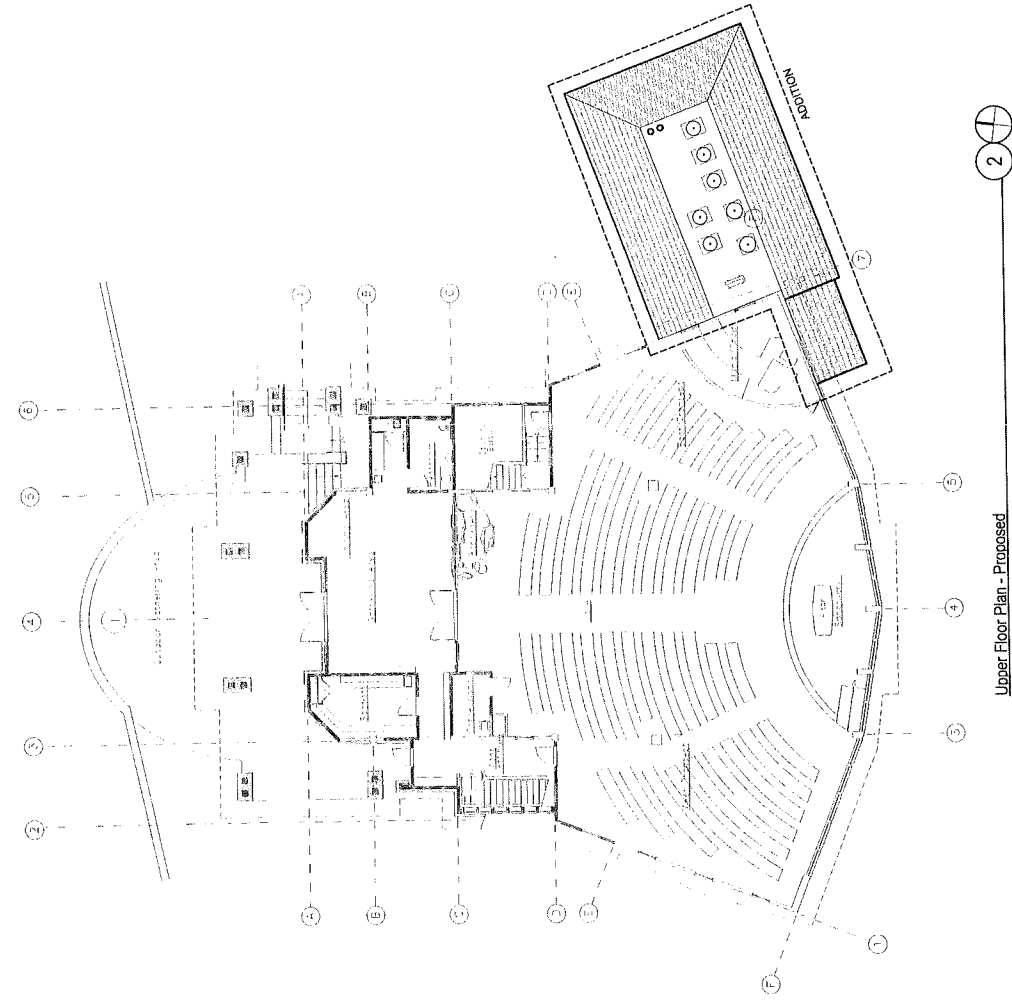
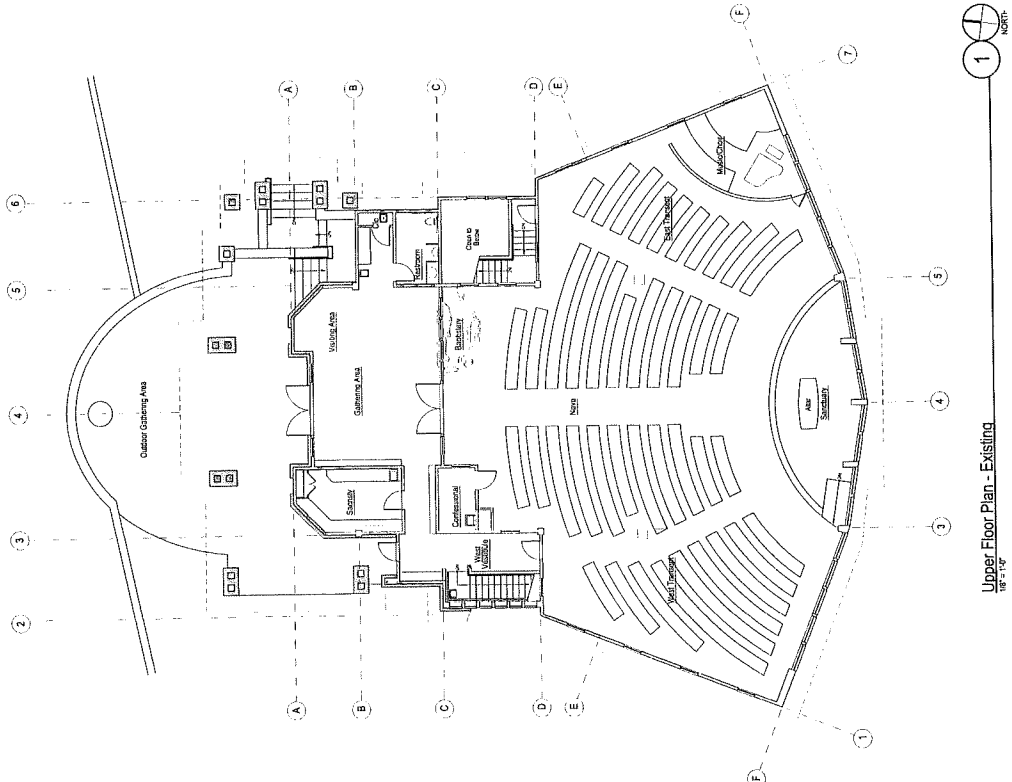


PROPOSED SITE PLAN
11.18.2020

**ST. FRANCIS
 OF ASSISI
 CLASSROOM
 ADDITION**

A.P.N. 124-030-52
 701 MT ROSE HIGHWAY
 INCLINE VILLAGE, NV 89414
 WASHOE COUNTY
 JOB NO. 18107
 DATE 10/12/17

TRPA APPLICATION
 EXISTING AND PROPOSED
 FLOOR PLANS - UPPER F
TRPA - A'

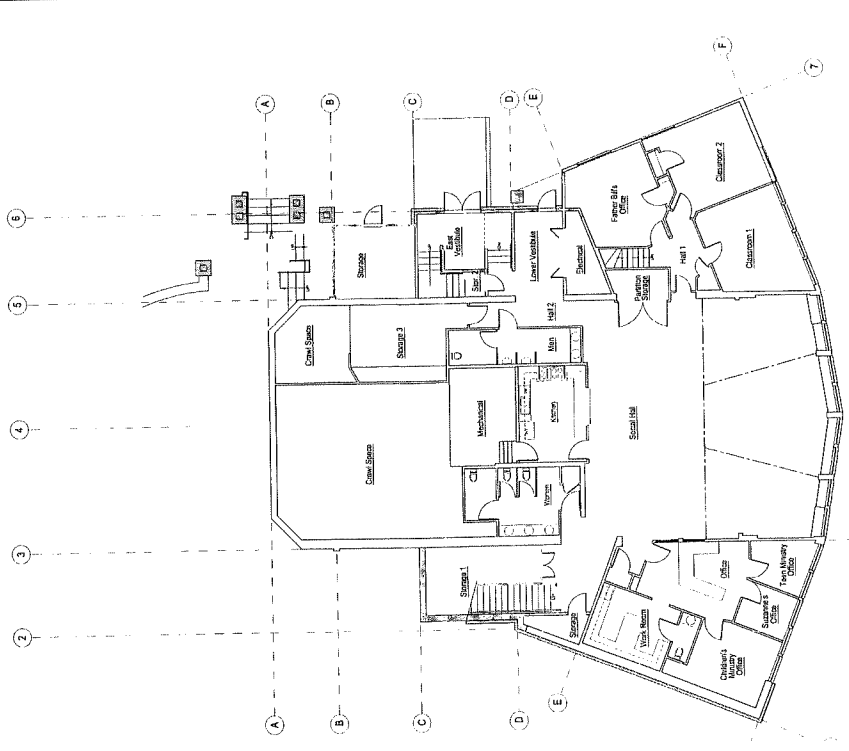


ST. FRANCIS OF ASSISI CLASSROOM ADDITION

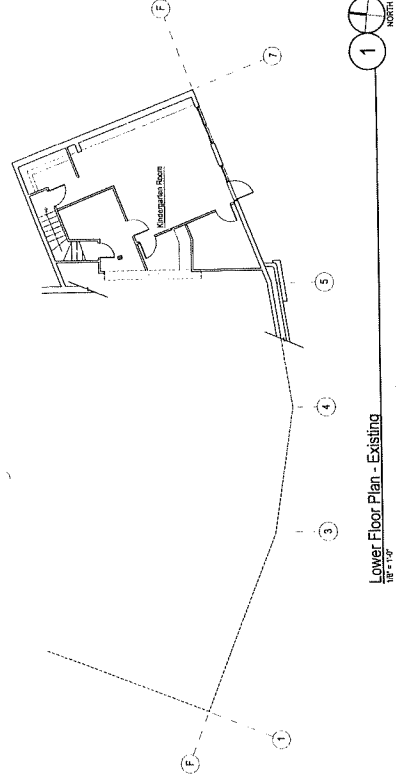
A.P.N. 124-038-62
 701 MT ROSE HIGHWAY
 INCLINE VILLAGE, NV 89451
 WASHINGTON COUNTY
 11/17/2019 9:48 AM
 11/17/2019 9:48 AM

TRPA APPLICATION
 EXISTING AND PROPOSED FLOOR PLANS - LOWER AND MIDDLE FLOORS

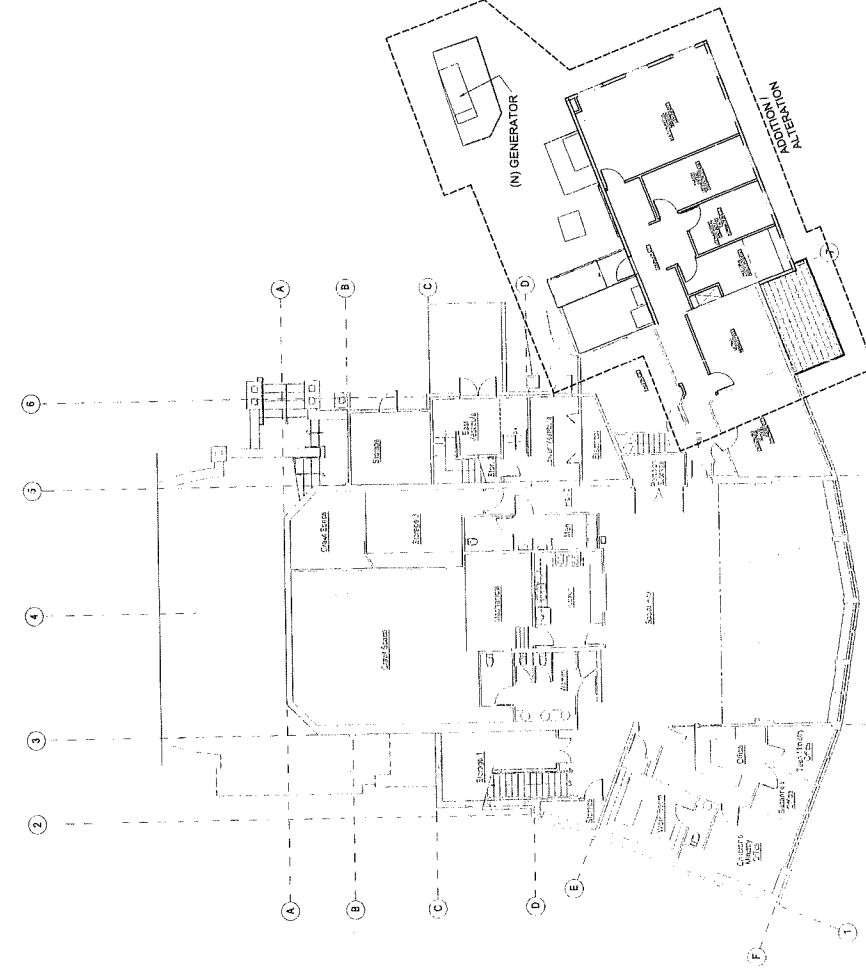
TRPA - A2.1



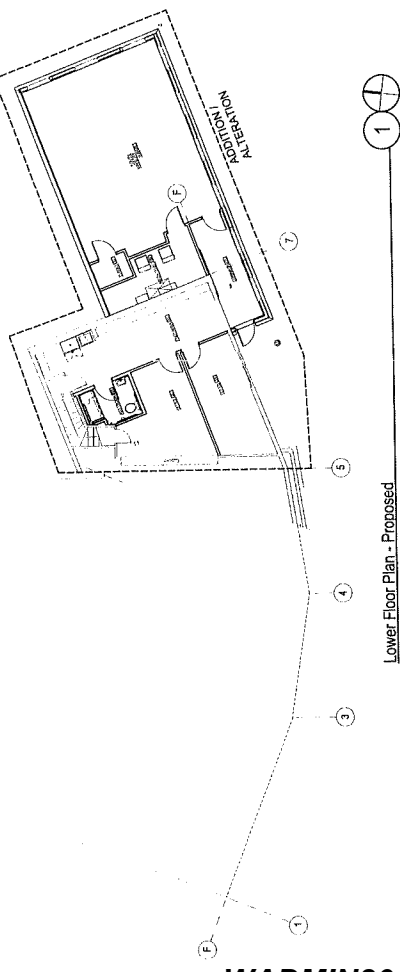
Middle Floor Plan - Existing
 1/8" = 1'-0"



Lower Floor Plan - Existing
 1/8" = 1'-0"



Middle Floor Plan - Proposed
 1/8" = 1'-0"



Lower Floor Plan - Proposed
 1/8" = 1'-0"

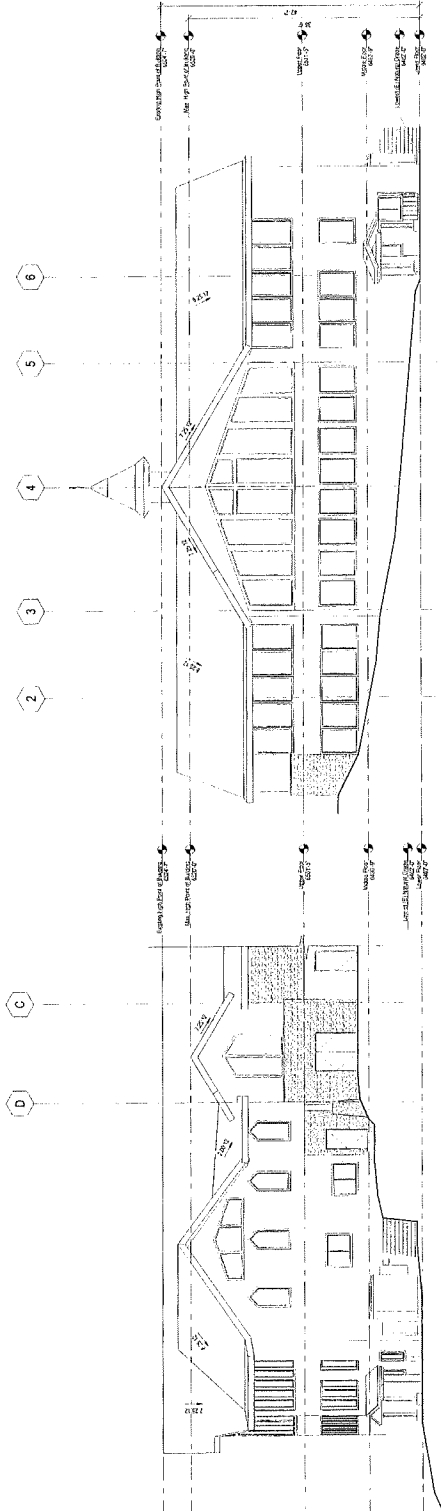
BUILDING HEIGHT INFORMATION

(E) BUILDING	14%
% CROSS SLOPE:	7.25/12
PRIMARY ROOF PITCH:	
ALLOWABLE HEIGHT (TRPA CODE SECTION 37.4.1):	35'-11"
(TRPA CODE SECTION 37.5.2):	38'-0"
(E) BUILDING MAX. HEIGHT (EXC. STEEPLE):	42'-7"
(E) BUILDING NATURAL GRADE:	6,482.00'
MAX. BUILDING ELEVATION:	6,520.00'
F.F. ELEVATION:	6,482.00'
(E) RIDGE:	6,524.58'
(E) HEIGHT FROM NAT. GRADE:	42'-7"
(E) ADDITION ATTACHED TO BUILDING:	
% CROSS SLOPE:	14%
PRIMARY ROOF PITCH:	7.25/12
(DEFINED BY MAIN BUILDING)	
ALLOWABLE HEIGHT (TRPA CODE SECTION 37.5.2):	38'-0"
(E) BUILDING NATURAL GRADE:	6,482.00'
MAX. BUILDING ELEVATION:	6,520.00'
F.F. ELEVATION:	6,481.42'
(P) RIDGE:	6,505.69'
(P) HEIGHT FROM NAT. GRADE:	23'-8 1/4"



EXTERIOR FINISH NOTES

- 1. THE COLOR OF THE EXTERIOR FINISHES, INCLUDING ANY FINISHES ON THE FACILITY, SHALL BE APPROVED BY THE COUNTY ENGINEER AND THE COUNTY PLANNING DEPARTMENT. APPROVED FINISHES SHALL BE INDICATED ON THE EXTERIOR FINISH SCHEDULE. APPROVED FINISHES SHALL BE INDICATED ON THE EXTERIOR FINISH SCHEDULE. APPROVED FINISHES SHALL BE INDICATED ON THE EXTERIOR FINISH SCHEDULE.
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East Elevation - Existing

East Elevation - Proposed

East Elevation - Existing

East Elevation - Proposed

NOT FOR CONSTRUCTION

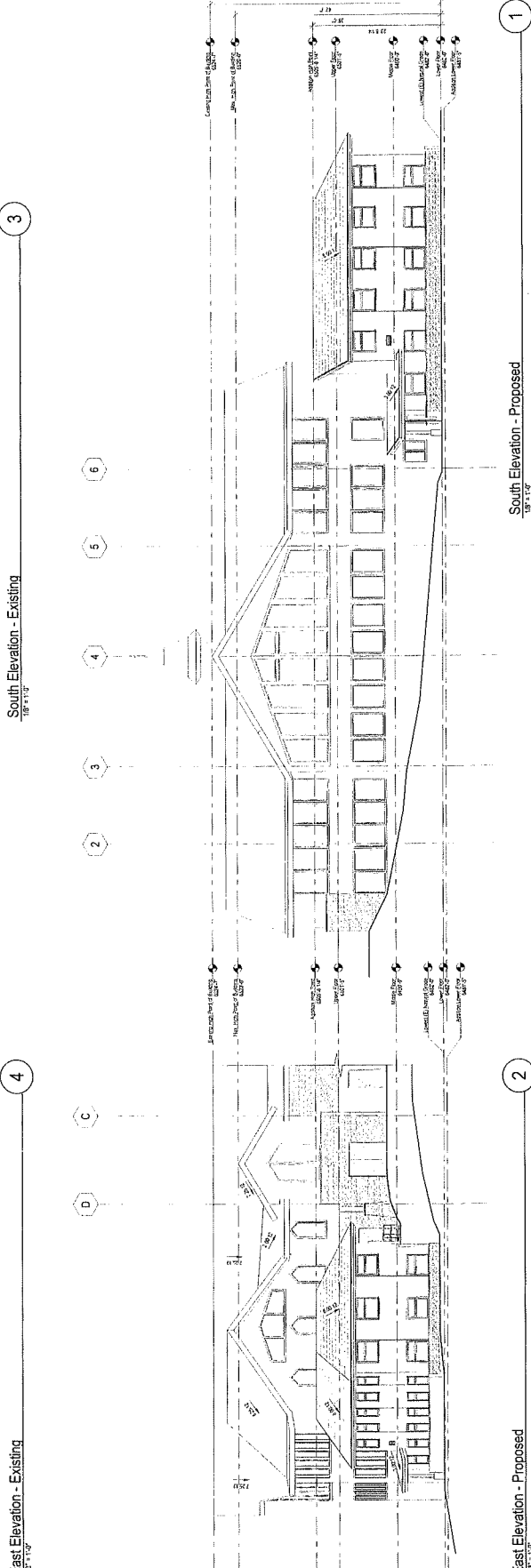
ST. FRANCIS OF ASSISI CLASSROOM ADDITION

APN: 124-030-02
 701 W. ROSE PKY
 INCURIE VILLAGE, NY 89451
 DATE: 12/15/2017
 DRAWING NO: 17-000000-01

TRPA APPLICATION

ELEVATIONS

TRPA-A3.1



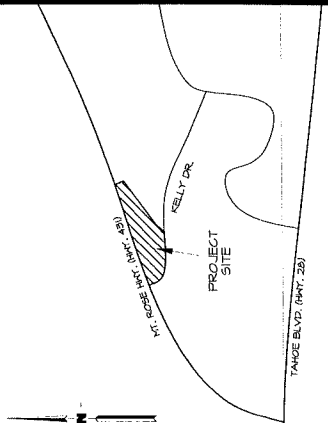
South Elevation - Existing

South Elevation - Proposed

South Elevation - Existing

South Elevation - Proposed

Vicinity Map



TRPA Site & Land Coverage Data

Allowable Land Coverage (S&F) By Land Capability

LAND CAPABILITY	CLASS 4	BEZ (SQ)	TOTAL
AREAS	40233	18,648	16,341
ALLOWABLE COVERAGE OVER BUILDS	26%	5A	14,225
	14,693	166	

Existing Land Coverage (S&F) By Land Capability

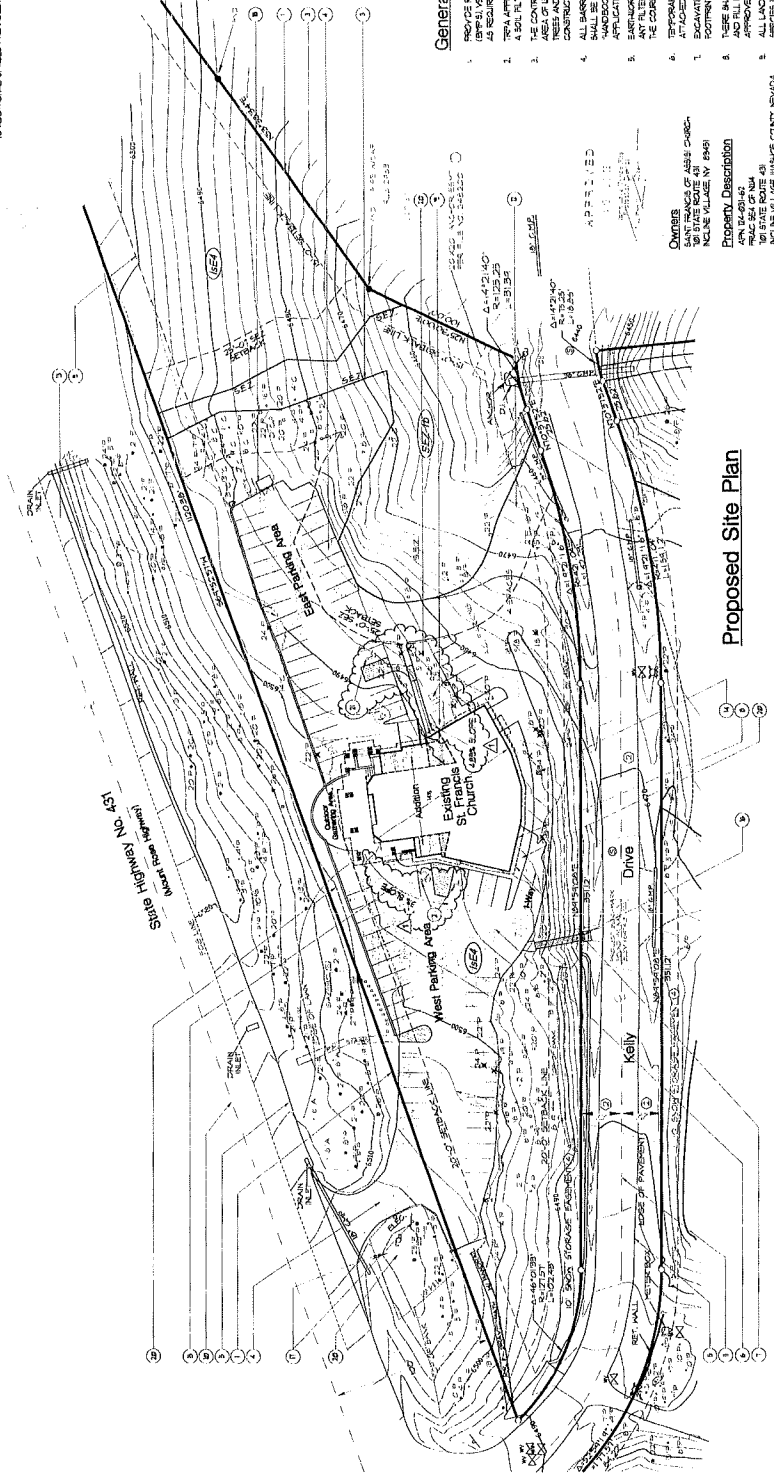
LAND CAPABILITY	CLASS 4	BEZ (SQ)	TOTAL
A/E BUILDS	3287	0	3287
BUILDS	5891	0	5891
ENTRANCES AND DRIVEWAYS	669	0	669
SPACES	192	0	192
TOTAL EXISTING COVERAGE	10,039	0	10,039
TOTAL ALLOWABLE COVERAGE	3,981	0	3,981

Proposed Land Coverage (S&F) By Land Capability

LAND CAPABILITY	CLASS 4	BEZ (SQ)	TOTAL
BUILDS A/E BUILDS TO REMAIN	28266	0	28266
PROPOSED ADD'D BUILDS A/E BUILDS	4987	0	4987
BUILDS BUILDS	5465	0	5465
BUILDS ADD'D BUILDS	830	0	830
OUTDOOR RECREATION AREAS	1893	0	1893
EAST ENTRANCE ALLEYS	181	0	181
ENTRANCE TO KELLY DRIVE	160	0	160
LANDSCAPE TREES, SHRUBS AND STONES	391	0	391
CONCRETE PAVES "MEDIAN-CAL. EQUIPMENT" "LANDSCAPE"	743	0	743
TOTAL PROPOSED COVERAGE	42,608	0	42,608
TOTAL ALLOWABLE COVERAGE (EXISTING)	3,985	0	3,985
TOTAL COVERAGE TO BE REMOVED	3,393	0	3,393
TOTAL PROPOSED ON-SITE COVERAGE	4,690	0	4,690

Parking Space Calculations

TOTAL EXISTING PARKING SPACES: 6 SPACES
 TOTAL REMOVED PARKING SPACES: 0 SPACES
 NET REMAINING PARKING SPACES: 6 SPACES
 36% OF NET REMAINING BUILDING AREA: 6 TOTAL SPACES REQUIRED
 TOTAL PROPOSED PARKING SPACES: 6 SPACES
 44% OF NET REMAINING BUILDING AREA: 6 TOTAL SPACES PROVIDED



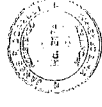
Proposed Site Plan

OWNER: ST. FRANCIS CHURCH
 101 STATE ROUTE 430
 INCLINE VILLAGE, NV 89315
 PROPERTY DESCRIPTION: 101 STATE ROUTE 430
 INCLINE VILLAGE, NV 89315

Key Notes

- PROPERTY LINE
- EXISTING CONTOUR LINE
- AC PAVING PARKING AREA AND DRIVEWAYS
- EDGE OF PAVEMENT
- STAGING AREA
- STAKEOUT
- STAKEOUT
- CENTERLINE OF MOUNT ROSE HIGHWAY
- CENTERLINE OF KELLY DRIVE
- LIMITS OF EXISTING RETAINING WALL TO BE REMOVED
- SEE CIVIL DRAWINGS FOR TRENCH TO BE REMOVED
- SEE CIVIL DRAWINGS FOR TRENCH TO BE REMOVED
- NEW CONCRETE STAIR WITH 3" HIGH HANDRAIL
- EXISTING 6" DIA. FOR TRAIL CONTAINER WITH 6" P" HIGH FENCE AND GATES
- CONCRETE PAD FOR MECHANICAL AND ELECTRICAL
- SEE LANDSCAPE IRRIGATION PLAN FOR ALL
- PROPOSED ACCESSIONS
- PROVIDE ALL REQUIRED HAZARDOUS ACCESSIBILITY
- ACCESSIBLE WITH ALL VEHICLE ACCESSIBILITY CODES AND STANDARDS

James P. Borell
 AIA
 ARCHITECT
 PROJECT DEVELOPMENT
 101 STATE ROUTE 430
 INCLINE VILLAGE, NV 89315
 775-783-3378



Neighborhood
 Comments
 9-3-07
 2007
 May 23 2007
 10:00 AM
 10:00 AM

Project: St. Francis Of Assisi Church Remodel

701 State Route 431
 Incline Village, Nevada
 APN 124-031-02

Sheet: NUTZDF
 Title: TRPA Data
 Storage Details

A0.2
 10 of 60 sheets

General Notes

- PROVIDE REQUIRED TEMPORARY BEST MANAGEMENT PRACTICES TO PREVENT EROSION AND SEDIMENTATION FROM THE CONSTRUCTION SITE AS REQUIRED BY TRPA FIELD INSPECTOR.
- TRPA APPROVED FABRIC TYPED FILTER BARRIERS TO BE USED AS A SOIL FILTER DEVICE.
- THE CONTRACTOR SHALL CONTROL WORK AND MATERIAL STORAGE TO PREVENT EROSION AND SEDIMENTATION FROM THE CONSTRUCTION SITE AND MATERIAL STORAGE COVER MUST BE MAINTAINED DURING CONSTRUCTION.
- ALL BARREN AREAS DISTURBED DURING THE CONSTRUCTION PROCESS SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION. THE TRPA APPLICATION OF A VULNERABILITY ASSESSMENT SHALL BE OBTAINED. THE CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT OF ANY VEGETATION DAMAGED DURING THE COURSE OF THE WORK.
- PROPOSED PILING SHALL BE INSTALLED IN OTHER AREAS THAT MAY BE AFFECTED BY THE WORK.
- EXCAVATION EQUIPMENT SHALL BE LIMITED TO THE FOUNDATION FOOTPRINT TO MINIMIZE SITE DISTURBANCE AS REQUIRED BY TRPA.
- THERE SHALL BE NO STORAGE OF EXCAVATED MATERIAL ON SITE UNLESS IT IS TO BE DEPOSITED AT A TRPA APPROVED LOCATION.
- ALL LANDSCAPING IS TO CONFORM TO THE REQUIREMENTS FOR SIZE AND SPECIES IDENTIFIED IN CHAPTER 39 OF THE TRPA CODE OF ORDINANCES.

MAXIMUM CALCULATED
 PROPOSED COVERAGE: 42,608 SQ FT
 ALLOWABLE COVERAGE: 3,981 SQ FT
 EXCESS COVERAGE: 38,627 SQ FT

